

Abbreviations

A	AMP	M	METER(S)
ABV	ABOVE	MAS	MASONRY
AC	AIR CONDITIONING	MAT	MATERIAL(S)
ACG	ACOUSTICAL	MAX	MAXIMUM
ACT	ACOUSTICAL TILE	MBR	MEMBER
ADD	ADDENDUM	MEGH	MECHANICAL
ADJ	ADJACENT	MEMB	MEMBER
AFF	ADJUSTABLE	MFG	MANUFACTURE(ER)
ALT	ALTERNATE	MH	MAN HOLE
ALUM	ALUMINUM	MN	MEN
ANOD	ANODIZED	MIR	MIRROR
ARCH	ARCHITECTURAL	MISC	MISCELLANEOUS
		ML	MILLIMETER(S)
BD	BOARD	MNT	MOUNT(ED)ING
BLDG	BUILDING	MO	MASONRY OPENING
BLKS	BLOCKING	MOD	MODULAR
BM	BEAM	MTL	METAL
BOT	BOTTOM	MTL FUR	METAL FURRING
BRK	BEARING	MULL	MULLION
BRK PL	BEARING PLATE		
BSMT	BASEMENT	N	NORTH
BVR	BUILT UP ROOFING	NA	NOT APPLICABLE
		NIC	NOT IN CONTRACT
CAB	CABINET	NO	NUMBER
CBMT	CHEMIST	NOM	NOMINAL
CG	CORNER GUARD	NRC	NOISE REDUCTION COEFFICIENT
CU FT	CUBIC FOOT	NTS	NOT TO SCALE
CE	CAST IRON		
CIP	CAST IN PLACE	OA	OVERALL
CJ	CONTROL JOINT	OC	ON CENTER
CLO	CLOSET	OD	OUTSIDE DIAMETER
CLR	CLEARANCE	OH	OVERHEAD, OPPOSITE HAND
CM	CENTIMETER(S)		
CMP	CORRUGATED METAL PIPE	PART	PARTITION
CMU	CONCRETE MASONRY UNIT	PART BD	PARTICLE BOARD
CONT	CONTAINER	PERF	PERFORATED
CNTR	COUNTER	PERM	PERIMETER
COL	COLUMN	PH	PHASE
CONC	CONCRETE	PKT	PACKET
CONST	CONSTRUCTION	PL	PLATE
CONT	CONTINUOUS	PLAS	PLASTER
CORR	CORRUGATED	PLAM	PLASTIC LAMINATE
CPT	CARPET	PNL	PANEL
CSMT	CASEMENT	PPR/TXL	PAPER TOWEL
CT	CERAMIC TILE	PR	PRE
CTR	CENTER	PRCST	PRE-CAST
CU YD	CUBIC YARD	PSF	POUNDS/SQUARE FOOT
CA	COLD WATER	PSI	POUNDS/SQUARE INCH
		PT	POINT
		PVC	POLYVINYL CHLORIDE
		PVMT	PAVEMENT
		PWD	PLYWOOD
D	DEEP	QT	QUARRY TILE
DBL	DOUBLE		
DEMO	DEMOLITION	R	RADIUS, RISE(ER)
DI	DRAINING	RA	RETURN AIR
DIA	DIAMETER	RCP	REFLECTED CEILING PLAN
DIM	DIMENSION	RD	ROOF DRAIN
DISP	DISPENSER	REC	RECESS(ED)
DOV	DOVE	REF	REFLECTOR
DL	DEAD LOAD	REFR	REFRIGERATOR
DN	DOWN	REG	REGISTER
DR	DOWN SPOUT	REINF	REINFORCED(D)ING
DTL	DETAIL	REQD	REQUIRED
DWG	DRAWING	REV	REVISION
E	EAST	RFL	REFLECT(ED)(L)IVE(OR)
EA	EACH	RH	RIGHT HAND
EL	EXPANSION JOINT	RM	ROOM
ELEC	ELECTRICAL	RO	ROUGH OPENING
ELEV	ELEVATION, ELEVATOR	ROP	RIGHT OF WAY
EMER	EMERGENCY	RS	ROD & SHELF
ENGR	ENGINEER		
EQ	EQUAL	S	SOUTH
EQUIP	EQUIPMENT	SA	SUPPLY AIR
EST	ESTIMATE	SC	SOLID CORE
EM	EACH MAY	SCH	SCHEDULE
ENG	ELECTRIC WATER COOLER	SD	SOAP DISPENSER
ENH	ENHANCE	SECT	SECTION
EXIST	EXISTING	SHT	SHEET
EXT	EXTENSION	SIM	SIMILAR
		SL GLS	SLIDING GLASS
FD	FLOOR DRAIN	SND	SANITARY NAPKIN DISPENSER
FEQ	FIRE EXTINGUISHER	SNR	SANITARY NAPKIN DISPENSER
		SPC	SPEAKER
FHC	FIRE HOSE CABINET	SPKR	SPEAKER
FIN	FINISH	SQ	SQUARE
FLR	FLOOR	SS	STAINLESS STEEL, SANITARY
FLOR	FLUORESCENT	STD	STANDARD
FND	FOUNDATION	STL	STEEL
FT	FOOT	STG	STORAGE
FTG	FOOTING	STRUC	STRUCTURE(AL)
FURK(G)	FURRING(S)	SUSP	SUSPENDED
FF	FINISHED FLOOR	SURF	SURFACE
		T	TREAD
GA	GAGE, GAUGE	TB	TONEL BAR
GAL	GALLON	TD	TONEL DISPENSER
GALV	GALVANIZED	TD/D	TONEL DISPENSER/DISPOSAL
GB	GRAB BAR	TELE	TELEPHONE
GEN	GENERAL	TEMP	TEMPER(ED)
GI	GALVANIZED IRON	T&G	TONGUE & GROOVE
GLS	GLASS	TPD	TOLLET PAPER DISPENSER
GLS BL	GLASS BLOCK	TV	TELEVISION
GNB	GYPNUM WALL BOARD	TYP	TYPICAL
GYP	GYPNUM	T&B	TOP & BOTTOM
		UON	UNLESS OTHERWISE NOTED
HB	HOSE BIB	V	VOLT
HG	HOLLOW GORE, HANDICAP	VB	VINYL BASE
HD	HEAVY DUTY	VERT	VERTICAL
HDR	HEADER	VCT	VINYL COMPOSITE TILE
HDW	HARDWARE		
HD WD	HARDWOOD	W	WEST
HM	HOLLOW METAL	WC	WATER CLOSET
HORIZ	HORIZONTAL	WDW	WINDOW
HR	HOUR	WH	WATER HEATER
HT	HEIGHT	WI	WROUGHT IRON
HTG	HEATING	WP	WATERPROOFING
HVAC	HEATING/VENTILATING AIR CONDITIONING	WT	WEIGHT
		W/F	WELDED WIRE FABRIC
HA	HOT WATER	XFMR	TRANSFORMER
ID	INSIDE DIAMETER	AT	AND
IN	INCH	N/A	NUMBER
INCAN	INCANDESCENT	<	CENTER LINE
INCL	INCLUDE(D)	>	PROPERTY LINE
INFO	INFORMATION	B/L	BUILDING LINE
INSUL	INSULATION		
INT	INTERIOR		
JST	JOIST		
JT	JOINT		
KIT	KITCHEN		
LAB	LABORATORY		
LAM	LAMINATE		
LAV	LAVATORY		
LVD	LIVE LOAD		
LT	LIGHT		
LT WT	LIGHTWEIGHT		
LVR	LOUVER		

Code Review

LOCAL MUNICIPALITY:	CITY OF NORMAN, CLEVELAND COUNTY, OKLAHOMA
APPLICABLE BUILDING CODE:	2018 INTERNATIONAL BUILDING CODE (IBC)
PLUMBING CODE:	2018 INTERNATIONAL PLUMBING CODE (IPC)
ELECTRICAL CODE:	2020 NEC (NFPA 70) & Local Amendments
MECHANICAL CODE:	2018 INTERNATIONAL MECHANICAL CODE (IMC)
HDCP CODE:	IGC A111.1 - 2009
FIRE CODE:	2018 INTERNATIONAL FIRE CODE (IFC)
ENERGY CODE:	2006 INTERNATIONAL ENERGY CODE (IECC)
EXISTING ZONING:	PL
OCCUPANCY TYPE:	U
CONSTRUCTION TYPE:	5B
PARKING REQUIRED / PROVIDED:	EXISTING
FIRE SPRINKLER:	NON-SPRINKLERED
BUILDING HEIGHT:	15'-5 1/8"
ALLOWABLE HEIGHT (PER 504.3):	40'-0"
NUMBER OF STORIES:	1
ALLOWABLE STORIES (PER 504.4):	1
BUILDING AREA (PER 202):	774 SF
ALLOWABLE AREA (PER 506.2):	5,500 SF
INSULATION REQUIREMENTS:	ABOVE GLG @ ROOFLINE - R-15ci MIN. FOURABLE CORE-FILL INSULATION AT ALL PERIMETER CMU WALLS MAX. THERMAL CONDUCTIVITY 0.44 Btu-in/h-ft ²
OCCUPANT LOAD:	N/A
BABY CHANGING TABLES:	ONE CHANGING TABLE REQD IN EA. RESTROOM PER CITY OF NORMAN ORDINANCES

Materials Legend

	EARTH		WOOD FRAMING - CONTINUOUS
	SAND		WOOD BLOCKING
	CONCRETE		PLASTER / STUCCO
	CAST STONE		SUSPENDED ACOUSTIC CEILING
	CONCRETE MASONRY UNIT		RIGID INSULATION
	STEEL		BATT INSULATION
	BRICK		WOOD
	ASPHALTIC PAVING		PLYWOOD
	GYPNUM WALL BOARD		

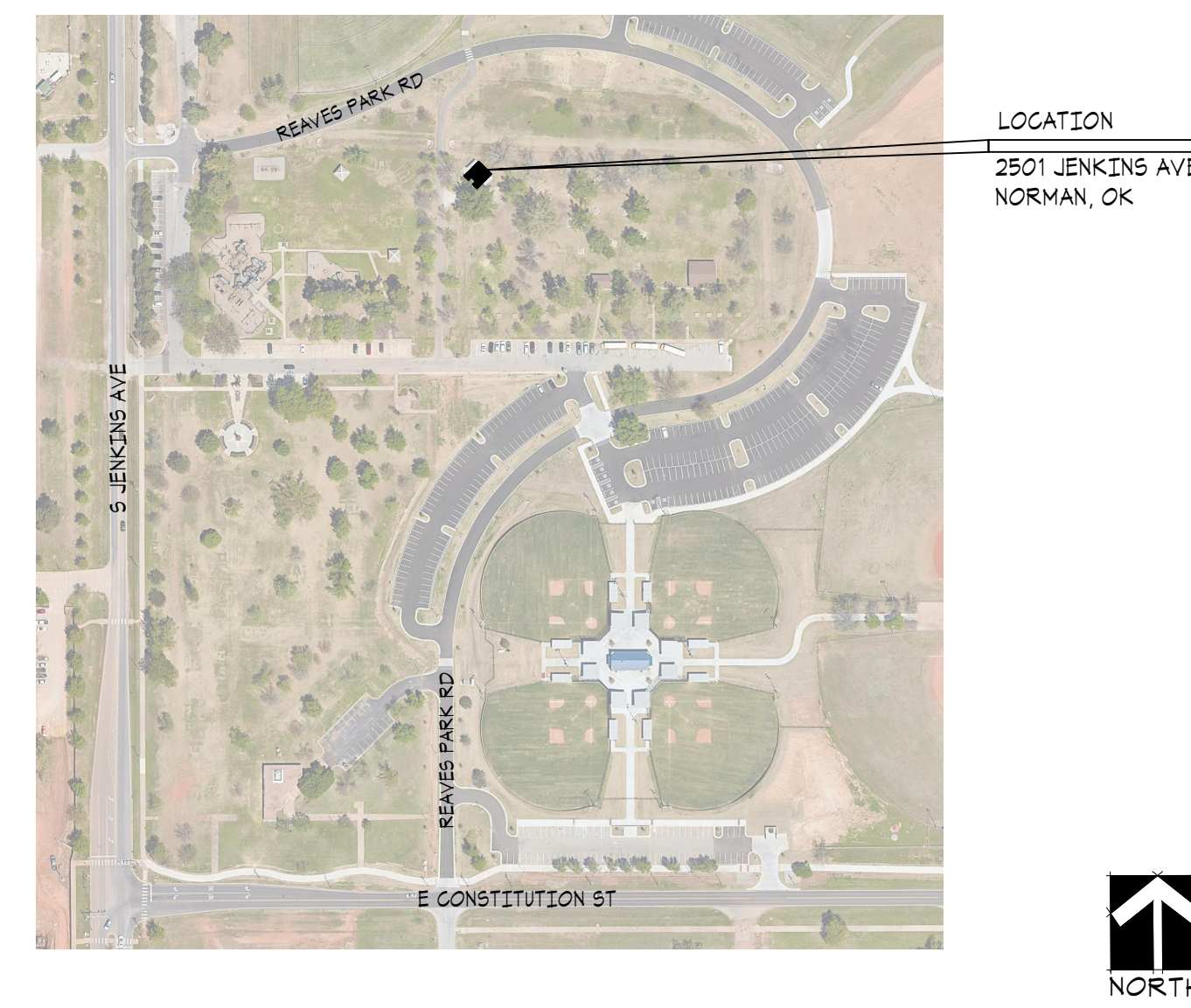
Symbols Legend

	ELEVATION - AFF (ABOVE FINISHED FLOOR)
	PROPERTY LINE
	CENTER LINE
	NUMBER SHEET REFERENCE
	WALL SECTION REFERENCE
	DETAIL REFERENCE
	ROOM NAME
	ROOM NUMBER
	DOOR NUMBER
	WINDOW NUMBER
	WALL PARTITION TYPE
	INTERIOR ELEVATION

General Notes

- ALL CONSTRUCTION SHALL MEET ALL APPLICABLE NATIONAL, STATE AND LOCAL BUILDING CODES, LATEST EDITIONS.
- DO NOT SCALE OFF PLANS.
- ALL CONTRACTORS SHALL CONDUCT A THOROUGH INSPECTION OF SITE AND EXISTING CONSTRUCTION PRIOR TO SUBMITTING ESTIMATE AND/OR BID. ANY AND ALL DISCREPANCIES IN THE EXISTING WORK OR CONFLICTS WITH THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IN WRITING PRIOR TO COMMENCING WORK.
- BUILDING PERMIT SHALL BE OBTAINED BY OWNER. TRADE PERMITS SHALL BE OBTAINED AND PAID FOR BY THE CONTRACTOR.
- ANY CHANGES IN THE CONSTRUCTION FROM THE ORIGINAL PLANS AND SPECIFICATIONS SHALL BE APPROVED BY ARCHITECT, NOTED AND INITIALED IN RED PENCIL ON A SET LOCATED ON SITE. ALL MAJOR SUBCONTRACTORS SHALL ALSO DOCUMENT CHANGES IN RED PENCIL AND SUBMIT TO THE ARCHITECT AT THE COMPLETION OF THE WORK FOR PREPARATION OF AS-BUILT CONSTRUCTION PLANS.
- ANY DISCREPANCIES OR INCONGRUITIES IN THESE CONSTRUCTION PLANS OR BETWEEN THE PLANS AND THE SPECIFICATIONS SHALL BE SUBMITTED TO THE ARCHITECT IN WRITING, PRIOR TO BID. CONTRACTOR SHALL WAIT FOR RESPONSE FROM ARCHITECT PRIOR TO COMMENCING WITH THAT PORTION OF THE WORK.
- KEEP PREMISES CLEAN AT ALL TIMES OF FOREIGN MATERIAL CREATED UNDER THIS CONTRACT. CONTRACTOR SHALL REMOVE DEBRIS AT THE END OF EACH WORK DAY. PROVIDE TARPULINGS TO PROTECT ALL FINISHES, SURFACES AND EQUIPMENT.
- AREAS FOR MATERIAL STORAGE, TRASH DISPOSAL, ETC., SHALL BE PROVIDED BY CONTRACTOR AND LOCATED ON SITE AS PER INSTRUCTED BY OWNER. CONSTRUCTION AREA SHALL BE FENCED AND SECURED.
- CONTRACTORS TO PROVIDE A LOCKED STORAGE FACILITY AS NEEDED DURING CONSTRUCTION ON OR NEAR SITE FOR STORAGE OF MATERIALS, SUPPLIES AND FIXTURES IN LOCATION APPROVED BY OWNER.
- CONTRACTORS SHALL ENTER INTO A CONSTRUCTION CONTRACT, EXECUTE BONDS, SUBMIT ALL INSURANCE CERTIFICATES TO OWNER PRIOR TO COMMENCING WITH WORK. MAINTENANCE OF LIENS MUST BE FURNISHED BY ALL CONTRACTORS, SUBCONTRACTORS AND MAJOR MATERIAL SUPPLIERS UPON FINAL PAYMENT.
- ALL DIMENSIONS MARKED "CLEAR" SHALL BE MAINTAINED AND SHALL ALLOW FOR THICKNESS OF ALL FINISHES INCLUDING ALL EXTERIOR FINISHES AND STONE VENEER, ETC.
- ALL DIMENSIONS ARE TO FACE OF FINISH MATERIAL UNLESS OTHERWISE NOTED.
- "ALIGN" MEANS TO ACCURATELY LOCATE FINISHED FACES IN THE SAME PLANE FOR A FINAL SMOOTH TRANSITION.
- "TYPICAL" OR "TYP" SHALL MEAN THAT THE CONDITION IS REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT UNLESS OTHERWISE NOTED.
- "SIMILAR" OR "SIM" SHALL MEAN THAT COMPARABLE CHARACTERISTICS EXIST FOR THE CONDITIONS NOTED. VERIFY DIMENSIONS AND ORIENTATION ON PLANS AND ELEVATIONS.
- CAULK ALL JOINTS OR CRACKS WHICH OCCUR WHERE DISSIMILAR MATERIALS INTERSECT PERPENDICULAR TO EACH OTHER, AND THE INTERSECTION IS EXPOSED TO VIEW.

Vicinity Map



Project Information

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Description of Scope

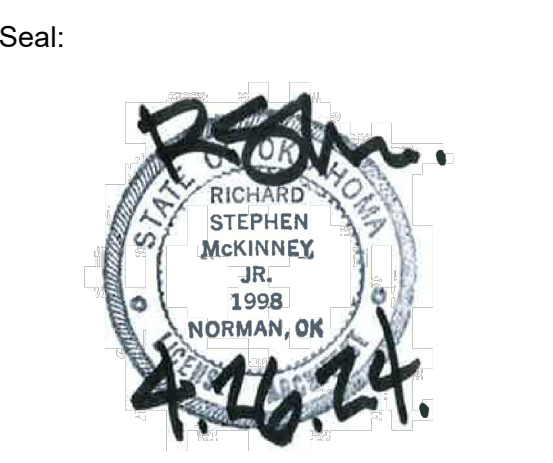
CONSTRUCTION OF NEW 774 S.F. CMU/STONE RESTROOM BUILDING AND RELATED SITE/UTILITY WORK. EXTERIOR MATERIALS TO BE STONE AND CEMENT STUCCO WITH ACRYLIC FINISH SYSTEM.

MEP Notes

- THE MECHANICAL, ELECTRICAL, PLUMBING AND SYSTM, SHALL BE DESIGNED-BUILD AND INSTALLED TO MEET ALL APPLICABLE CODES BY THE GENERAL CONTRACTOR'S SUBCONTRACTORS. THE DRAWINGS INCLUDED ARE TO OUTLINE GENERAL INTENT AND LAYOUT.
- GENERAL CONTRACTOR'S MEP SUBCONTRACTORS TO PROVIDE SHOP DRAWINGS INCLUDING LOADS AND EQUIPMENT CUTSHEETS TO OWNER AND ARCHITECT FOR REVIEW.



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Project:
Reaves Park
Central Restroom Building
2501 Jenkins Ave.
Norman, Oklahoma

Issue Date:
04/25/2024

Revisions:

Project Number:
CM094323

Sheet Title:
GENERAL INFORMATION

Sheet Number:

A0.0

ACCESSORIES SCHEDULE:

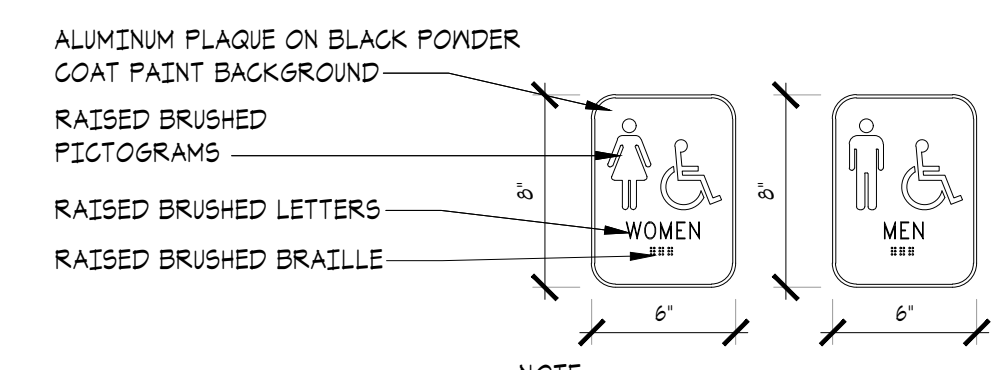
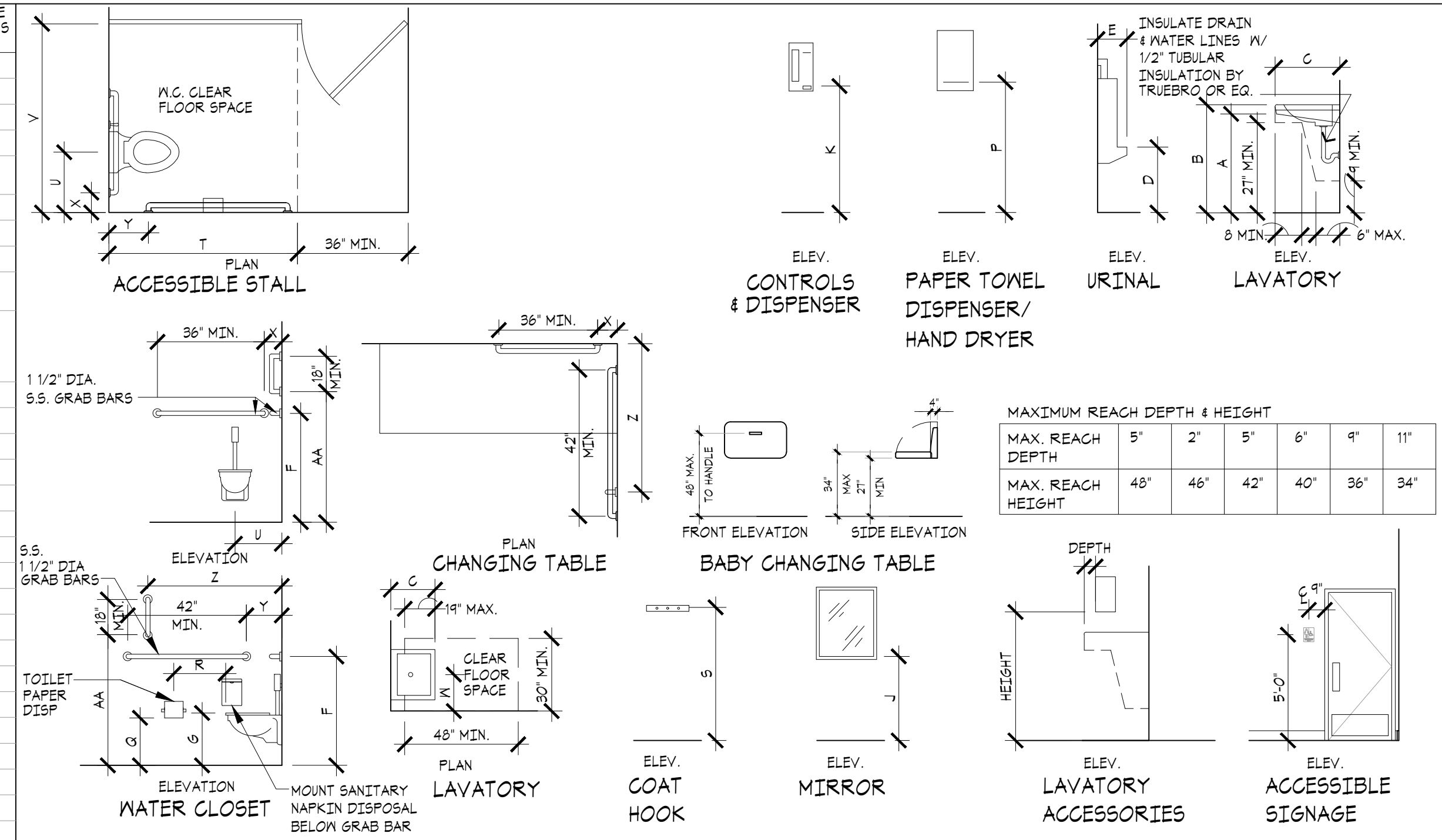
MARK	DESCRIPTION	MANUF./MODEL NO.
(A)	AIR HAND DRYER	EXCEL THIN AIR RA-SB SURFACE MOUNTED, HANDS FREE OPERATION ADA COMPLIANT 4" DEPTH, COLOR: BRUSHED STAINLESS STEEL
(B)	SOAP DISPENSER	OWNER FURNISHED/CONTRACTOR INSTALLED
(C)	36" GRAB BAR	BOBRICK B-6806-36 CONCEALED ANCHORS & FASTENERS
(D)	48" GRAB BAR	BOBRICK B-6806-48 CONCEALED ANCHORS & FASTENERS
(E)	18" VERTICAL GRAB BAR	BOBRICK B-6806-18 CONCEALED ANCHORS & FASTENERS
(F)	TOILET PAPER HOLDER	OWNER FURNISHED/CONTRACTOR INSTALLED
(G)	MIRROR	BOBRICK B-1856-2436, COLOR: 32D STAINLESS STEEL FINISH FRAMELESS POLISHED STAINLESS STEEL REFLECTIVE SURFACE
(H)	BABY CHANGING STATION	KOALA KARE KB-200-01 GRAY
(I)	VANDAL RESISTANT COAT HOOK	BOBRICK B-489, SECURED FROM THE FRONT, SATIN FINISH STAINLESS STEEL

ACCESSORIES NOTES:

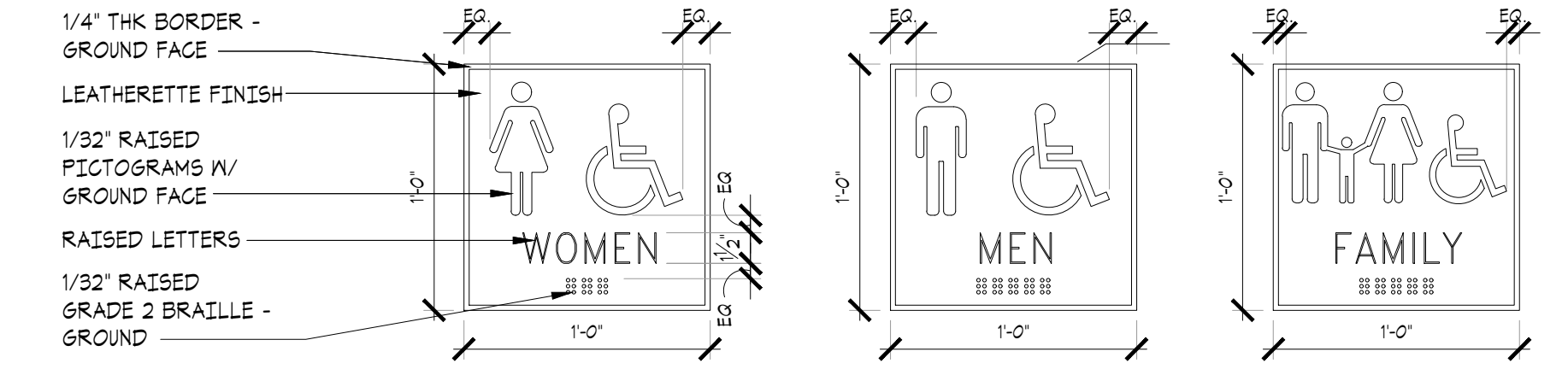
- REFER TO PLUMBING DRAWINGS-SHEET P1.0 FOR PLUMBING FIXTURE SPECIFICATIONS.
- REFER TO ACCESSIBLE FIXTURES AND ACCESSORIES MOUNTING SCHEDULE ON SHEET A0.1.
- ALL CONSTRUCTION AND MOUNTING HEIGHTS SHALL COMPLY WITH ALL APPLICABLE CITY AND STATE ACCESSIBILITY REGULATIONS AS WELL AS THE FEDERAL ADA (AMERICANS WITH DISABILITY ACT) REGULATIONS. REFER QUESTIONABLE MOUNTING HEIGHTS TO THE ARCHITECT FOR FINAL DECISION. REFER SCHEDULE THIS SHEET.
- PROVIDE SOLID CONTINUOUS F.R. WOOD BLOCKING IN WALLS AS REQUIRED FOR ATTACHING ACCESSORIES, RAILS AND EQUIPMENT.
- REFER TO RESTROOM INTERIOR ELEVATIONS ON INTERIOR ELEVATION SHEETS FOR LOCATION OF OTHER WALL MOUNTED ACCESSORIES.
- PROVIDE SOLID GROUT FILL AT ALL INSERTS AND EMBEDS IN WALLS AS REQUIRED FOR ATTACHING ACCESSORIES, BARS AND EQUIPMENT.

ACCESSIBLE FIXTURES AND ACCESSORIES MOUNTING SCHEDULE:

MK.	ITEM	ACCESSIBLE DIMENSIONS REQUIRED
A	LAVATORIES - HEIGHT TO BOTTOM OF APRON	28" MIN
B	LAVATORIES - HEIGHT TO TOP OF RIM	34" MAX.
C	LAVATORIES - DEPTH FROM FINISHED WALL	17" MIN
D	URINAL - HEIGHT TO TOP OF RIM	17" MAX.
E	URINAL - DEPTH FROM FINISHED WALL TO OUTER EDGE OF ELONGATED RIM	14" MIN.
F	GRAB BARS - HEIGHT TO TOP OF BAR.	36"
G	WATER CLOSET - HEIGHT TO TOP OF SEAT.	17" - 19"
H	WATER CLOSET - HEIGHT TO FLUSH CONTROLS	44" MAX.
J	MIRROR - HEIGHT MAXIMUM TO BOTTOM EDGE OF REFLECTING SURFACE.	40" MAX.
K	CONTROLS & DISPENSERS: MAXIMUM TO CENTER LINE OF CONTROL DEVICE - FRONT APPROACH SIDE APPROACH	48" MAX. 54" MAX.
L	NOT USED	
M	NOT USED	
N	NOT USED	
P	PAPER TOWEL DISPENSER/DRYER - HT TO OPENING	48" MAX.
Q	TOILET PAPER DISPENSER - HT TO DISPENSER OPENING	15" MIN.
R	TOILET PAPER DISPENSER - DEPTH FROM WATER CLOSET	8"
S	COAT HOOK	48" MAX.
T	WATER CLOSET - CLEAR SPACE (WALL MTD)	56" MIN.
U	WATER CLOSET - FROM ADJACENT WALL TO CENTERLINE	17" MAX.
V	WATER CLOSET - CLEAR SPACE FROM ADJ. WALL	60" MIN.
W	LAVATORIES - CLEAR SPACE FROM CENTERLINE	15" MIN.
X	42" GRAB BAR - LOCATED FROM ADJACENT WALL	4" MAX.
Y	48" GRAB BAR - LOCATED FROM REAR WALL	8" MAX.
Z	18" VERTICAL GRAB BAR - LOCATED FROM ADJ. WALL	34"-41"
AA	18" VERTICAL GRAB BAR - LOCATED FROM FLOOR	34"-41"



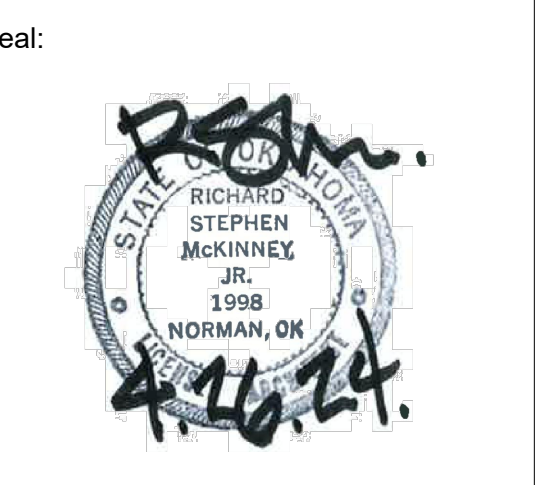
- NOTE:**
- SIGNS SHALL COMPLY WITH ADA SIGN GUIDELINES.
 - SUBMIT CUT SHEETS & ARTWORK FOR ARCHITECT REVIEW AND APPROVAL.
 - PROVIDE TAMPER PROOF CONCEALED MOUNTING.
 - MATERIAL: CORROSION RESISTANT, DURABLE, HEAVY DUTY, WEATHER RESISTANT ALUMINUM
 - QTY ONE (1) OF EACH SIGN.
 - REFER TO NOTE (12) ON 01/A2.0 FOR LOCATION. MENS RESTROOM SIGN TO BE AFFIXED TO EXTERIOR SIDE OF DOOR 102. WOMENS RESTROOM SIGN TO BE AFFIXED TO EXTERIOR SIDE OF DOOR 101. MOUNTING HEIGHT TO BE IN ACCORDANCE WITH ADA GUIDELINES FOR SIGNAGE.
- 8"X6" BRAILLE ADA VANDAL RESISTANT ALUMINUM SIGNS**



- NOTE:**
- SIGNS SHALL COMPLY WITH ADA SIGN GUIDELINES.
 - SUBMIT CUT SHEETS & ARTWORK FOR ARCHITECT REVIEW AND APPROVAL.
 - PROVIDE TAMPER PROOF CONCEALED MOUNTING - 4 X 1/4" X 3" SS CONCEALED ANCHORS PER SIGN.
 - PROVIDE ALL REQUIRED INSERTS & EMBED FOR A COMPLETE INSTALLATION - 1/2" DIAMETER.
 - QTY ONE (1) OF EACH SIGN.
 - MOUNT SIGNS ON STONE AND BACKPACK SOLID WITH GROUT AND SEALANT. GROUT FILL EDGES TO MATCH STONE GROUT.
 - REFER TO KEY NOTE (8) ON 01/A2.0 AND EXTERIOR ELEVATIONS 03/A4.0 AND 02/A4.0 FOR LOCATIONS. MOUNTING HEIGHT TO BE IN ACCORDANCE TO ADA GUIDELINES FOR SIGNAGE.
- 12"X12" CAST BRONZE SIGNS**



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Project:
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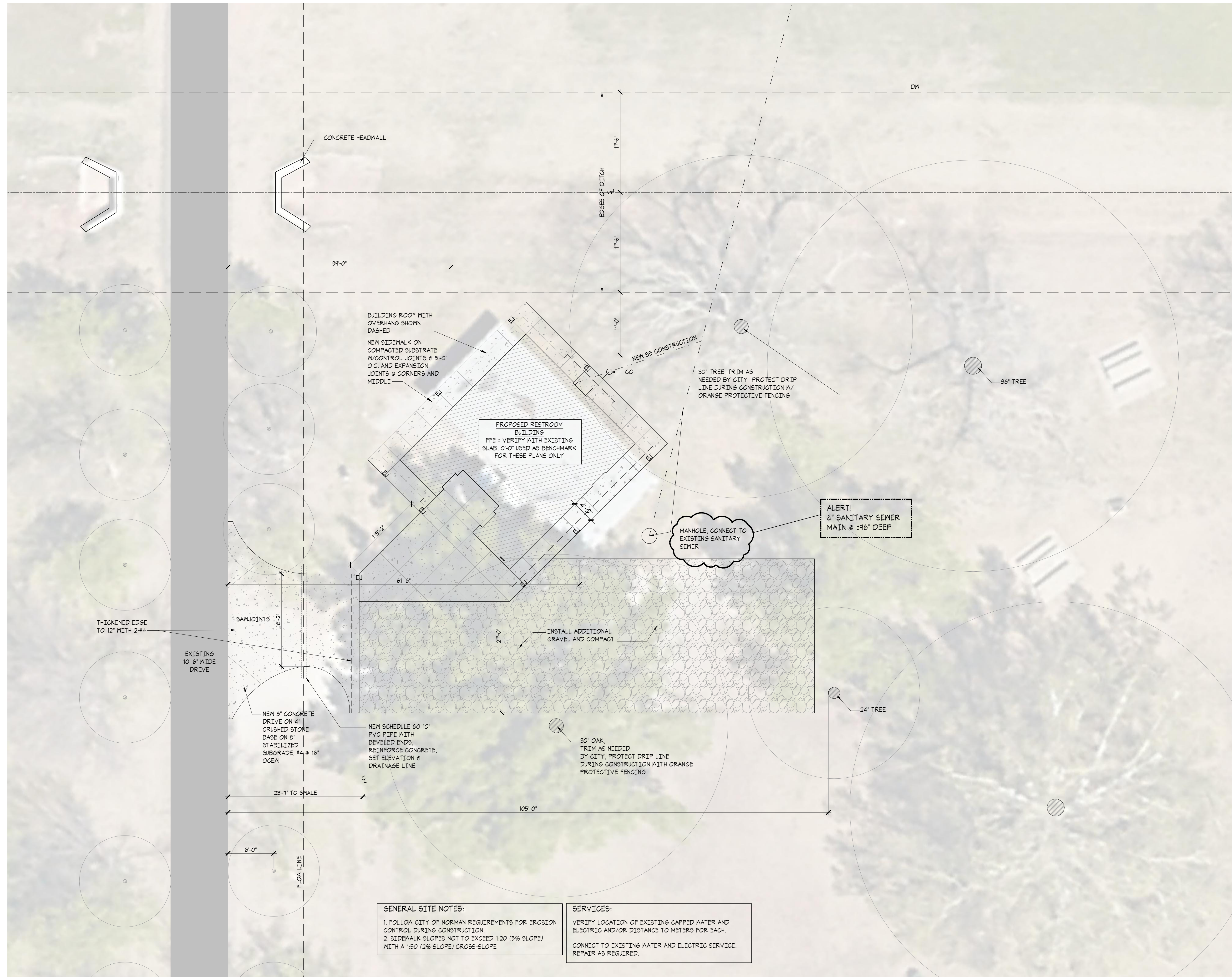
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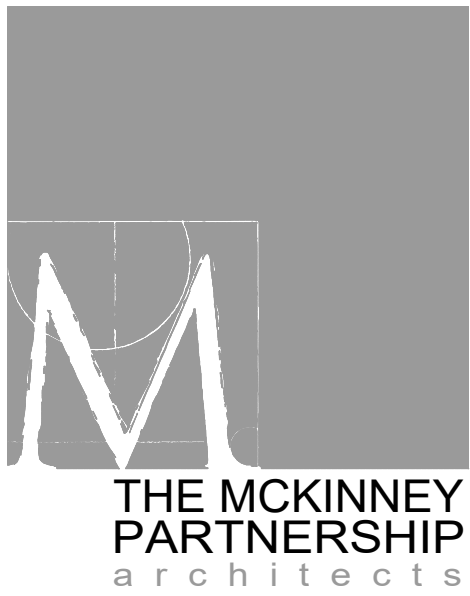
Sheet Title:
**ACCESSIBLE MOUNTING SCHEDULE
ACCESSORY SCHEDULE**

Sheet Number:
A0.1



GENERAL SITE NOTES:
 1. FOLLOW CITY OF NORMAN REQUIREMENTS FOR EROSION CONTROL DURING CONSTRUCTION.
 2. SIDEWALK SLOPES NOT TO EXCEED 1:20 (5% SLOPE) WITH A 1:50 (2% SLOPE) CROSS-SLOPE

SERVICES:
 VERIFY LOCATION OF EXISTING CAPPED WATER AND ELECTRIC AND/OR DISTANCE TO METERS FOR EACH.
 CONNECT TO EXISTING WATER AND ELECTRIC SERVICE. REPAIR AS REQUIRED.



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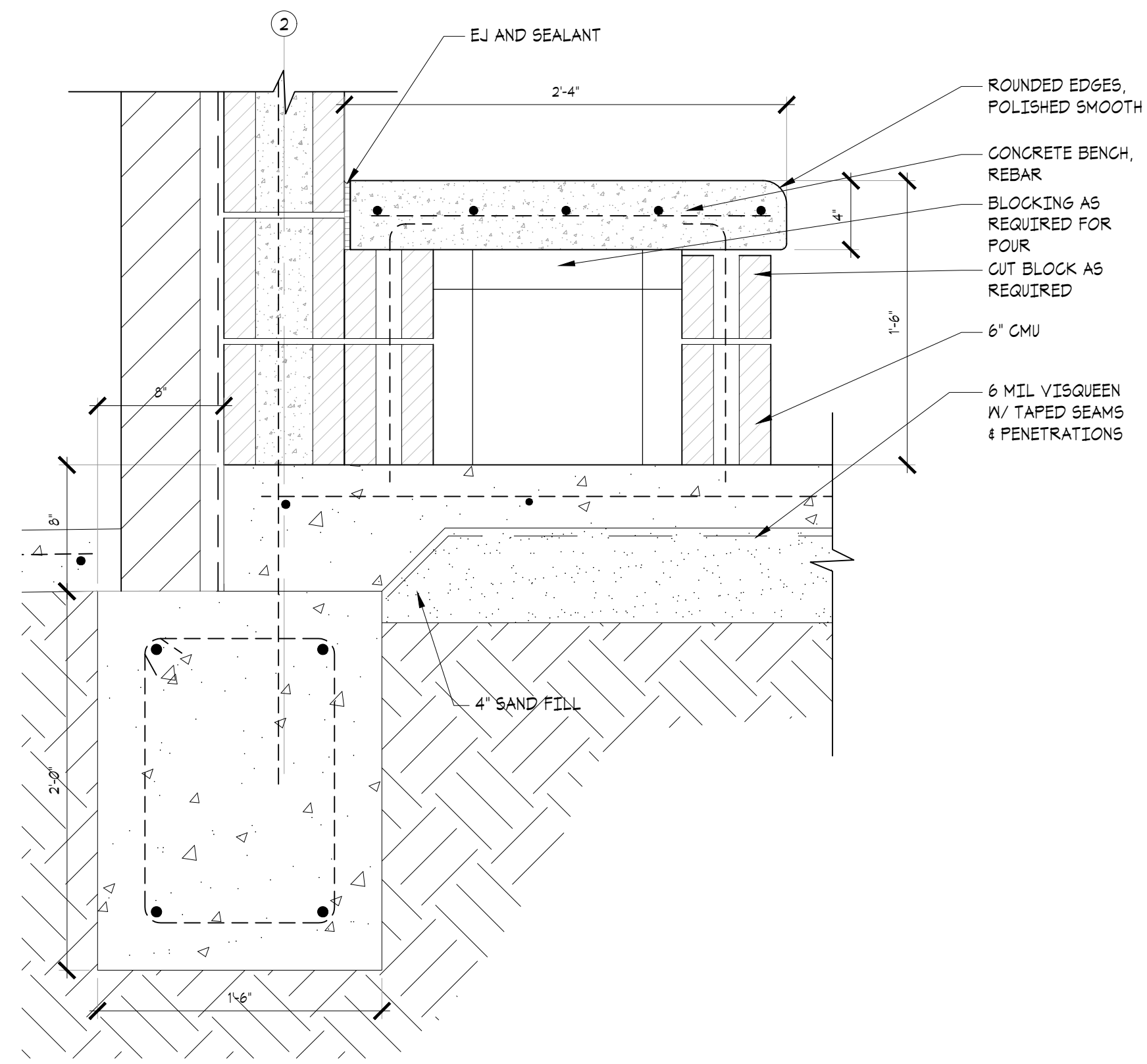
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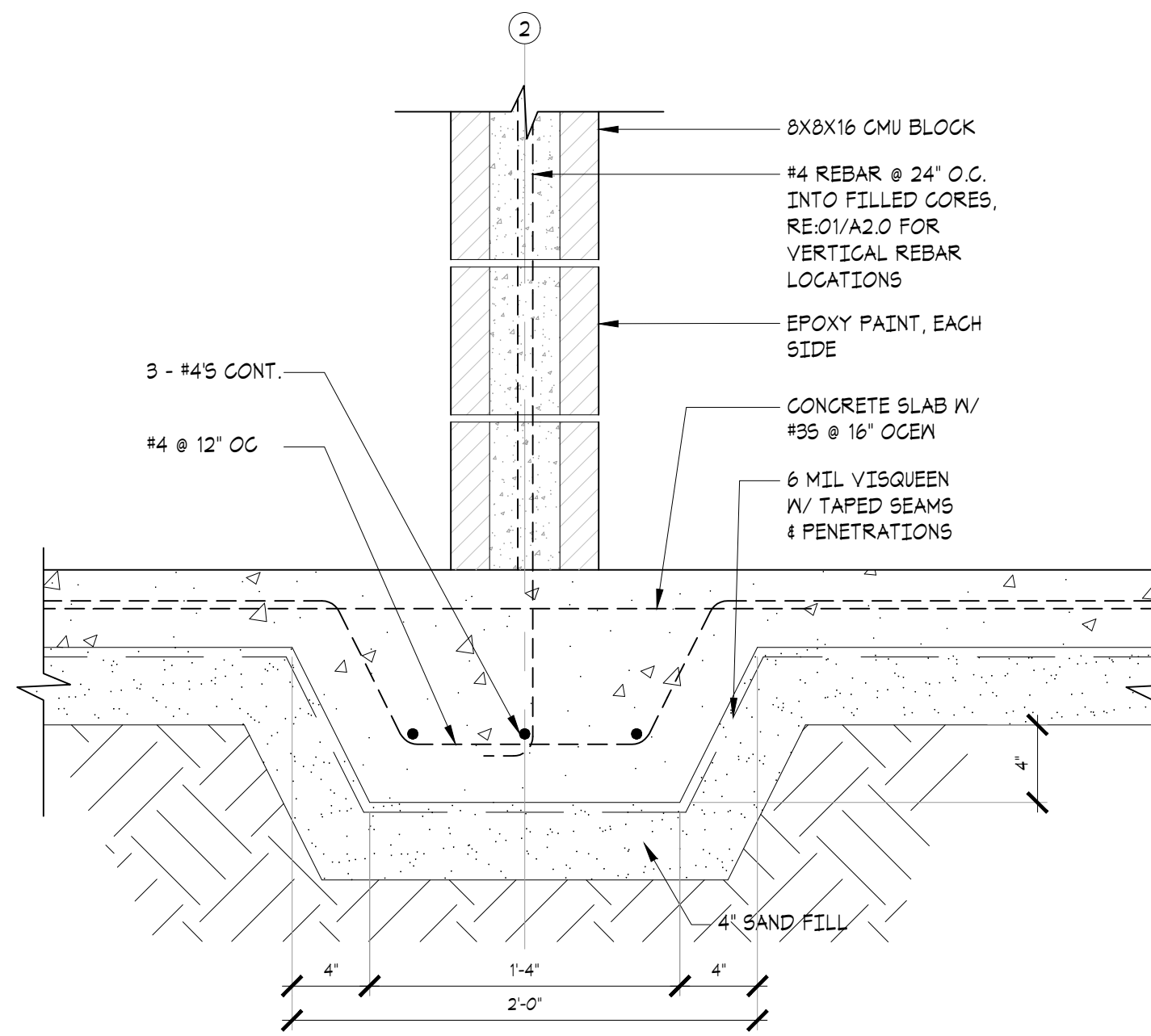
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Sheet Title:
 ARCHITECTURAL SITE PLAN

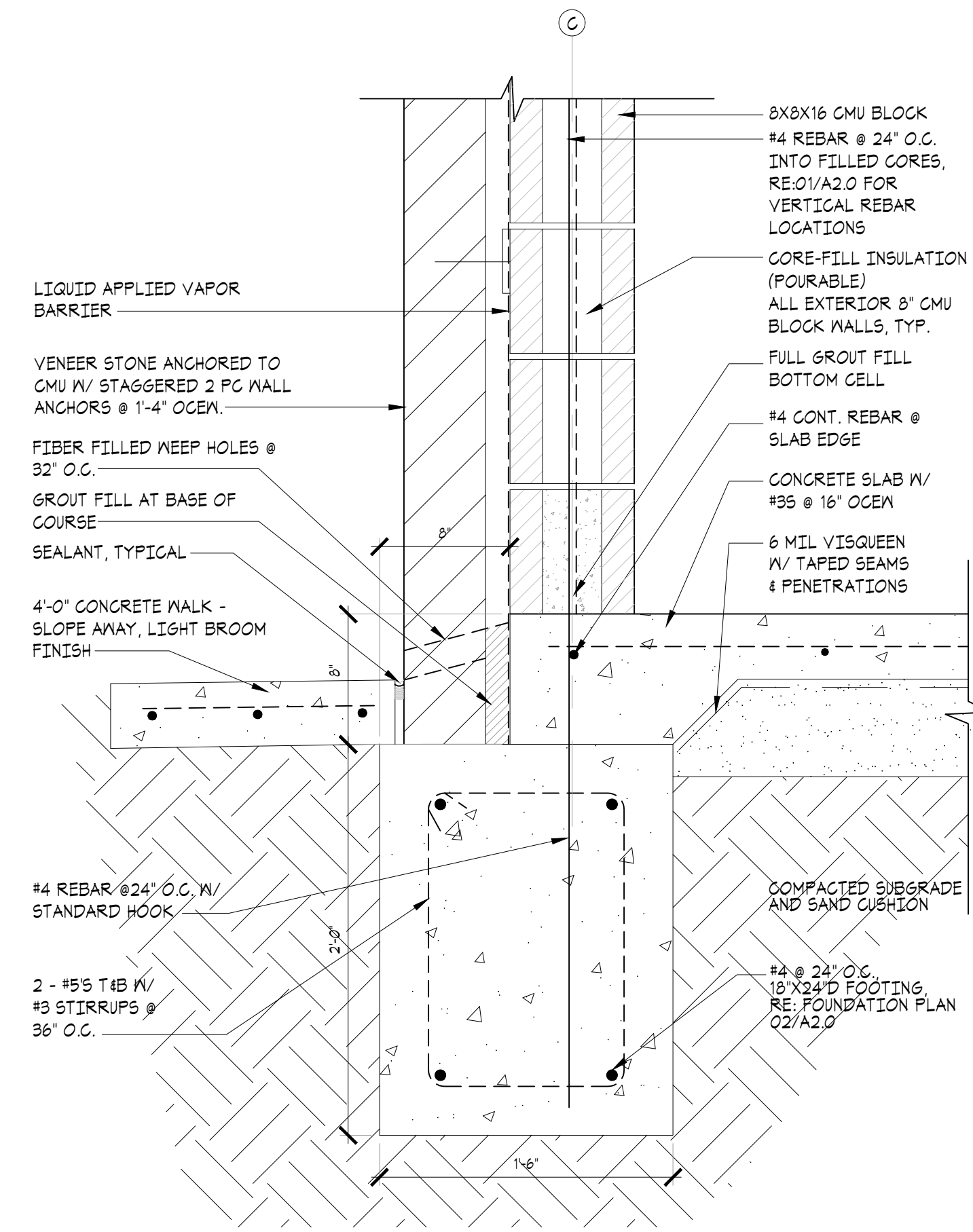
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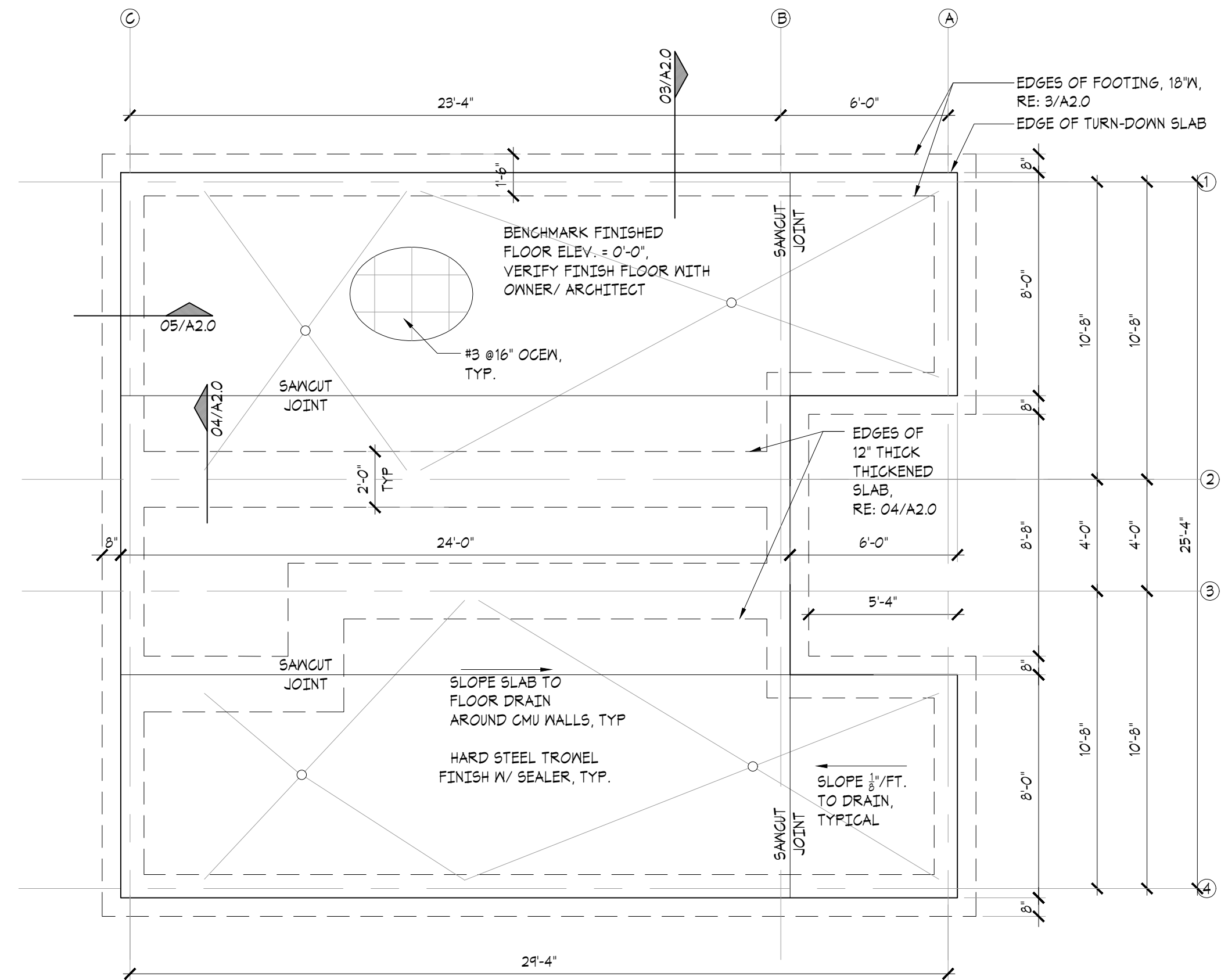
05 BENCH/CHANGING TABLE DETAIL
SCALE: 1 1/2" = 1'-0"



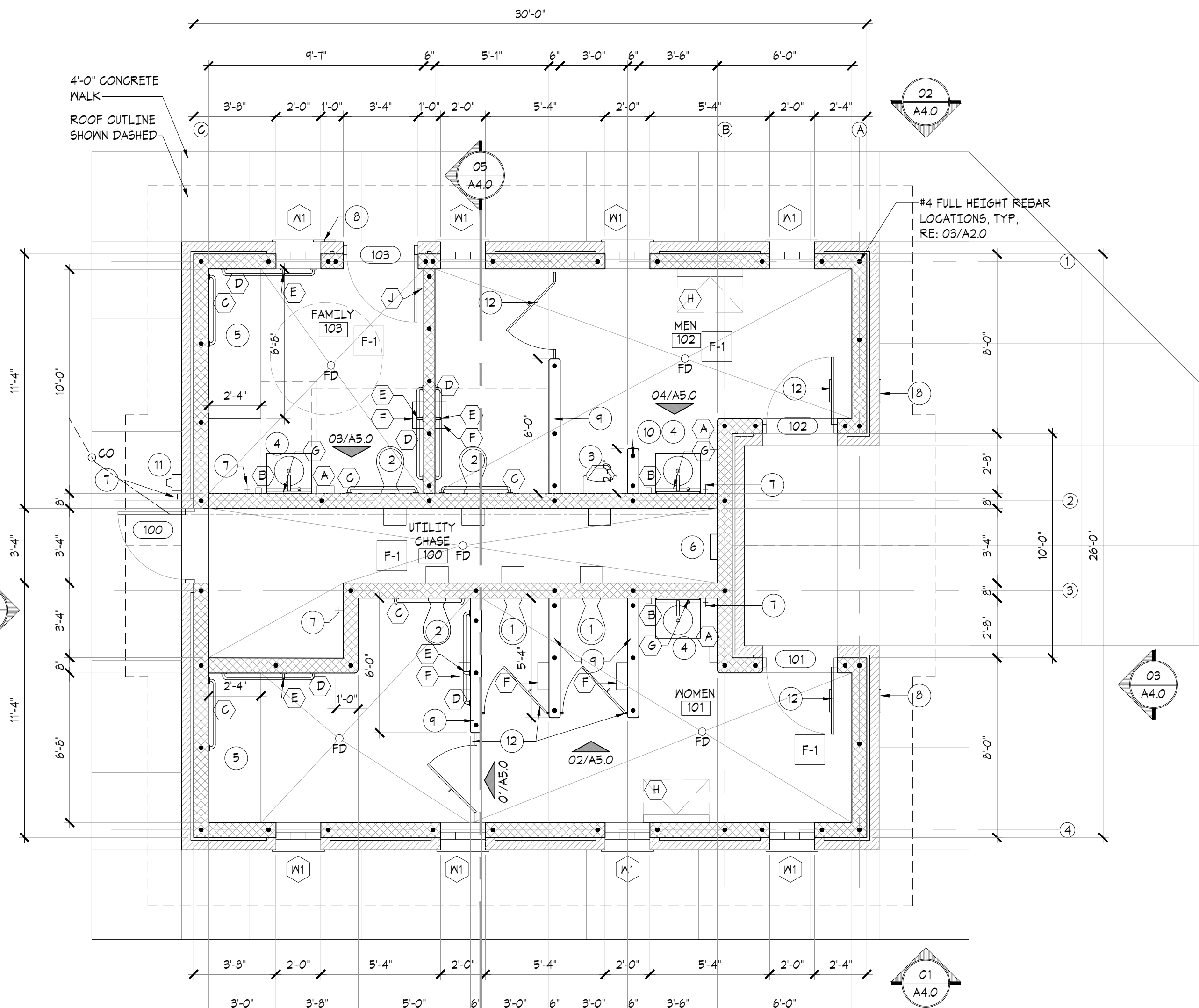
04 THICKENED SLAB DETAIL
SCALE: 1 1/2" = 1'-0"



03 FOOTING SECTION DETAIL
SCALE: 1 1/2" = 1'-0"



02 FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



01 FLOOR PLAN
SCALE: 1/4" = 1'-0"

PLAN NOTES BY SYMBOL

- 1 WATER CLOSET, REFER TO PLUMBING
- 2 ACCESSIBLE WATER CLOSET, REFER TO PLUMBING
- 3 URINAL, REFER TO PLUMBING
- 4 LAVATORY, REFER TO PLUMBING
- 5 CONCRETE CHANGING BENCH
- 6 NOT USED
- 7 HOSE BIB
- 8 12"x12" CAST BRONZE ACCESSIBLE RESTROOM SIGNAGE, RE: A0.1
- 9 6'-0" CMU PARTITIONS - PROVIDE ADDITIONAL REINFORCING @ END OF WALL, TYPICAL
- 10 4'-0" CMU PARTITION - PROVIDE ADDITIONAL REINFORCING @ END OF WALL, TYPICAL
- 11 ELECTRIC METER
- 12 BRAILLE ADA ALUMINUM SIGN, RE: A0.1

GENERAL NOTES

1. ALL CONSTRUCTION TO CONFORM TO ALL APPLICABLE BUILDING CODES - LATEST ADOPTED EDITIONS
2. ANY DISCREPANCIES BETWEEN DRAWINGS AND / OR SPECIFICATIONS AND EXISTING CONDITIONS SHALL BE REFERRED TO ARCHITECT FOR CLARIFICATION AND ADJUSTMENT DURING BIDDING OR BEFORE WORK COMMENCES.
3. INSTALL ALL PRODUCTS AND ASSEMBLIES IN STRICT ACCORDANCE WITH MANUFACTURERS' SPECIFICATIONS AND INSTRUCTIONS.
4. HCAP TOILETS TO COMPLY WITH CABO ANSI A 117.1 - LATEST ADOPTED VERSION.
5. CAULK ALL JOINTS OR CRACKS WHICH OCCUR WHERE DISSIMILAR MATERIALS INTERSECT PERPENDICULAR TO EA. OTHER, AND THE INTERSECTION IS EXPOSED TO VIEW, U.O.N.
6. WHERE DOORS IN PARTITIONS ARE NOT SPECIFICALLY LOCATED ON PLANS, PROVIDE A MINIMUM HINGE SIDE JAMB DIMENSION OF 4" FROM DOOR OPENING TO ADJACENT PERPENDICULAR WALLS.
7. INSTALLATION DETAILS AND DIMENSIONS MAY DIFFER FROM THOSE SHOWN. CONTRACTOR SHALL VERIFY INSTALLATION REQUIREMENT FOR ALL PRODUCTS TO BE INCORPORATED IN THE WORK (INCLUDING PARTITION THICKNESS FOR RECESSED PRODUCTS), & IS RESPONSIBLE FOR ACCOMMODATING ANY CHANGES TO OTHER MATERIALS OR PRODUCTS THAT ARE NECESSARY BECAUSE OF THESE DIFFERENCES.

CEILING

- ALL CEILING PLANES TO BE UNIFORM AND FLAT.

PAINTING

- ALL SHEENS TO MATCH ON ALL COMMON WALL PLANES.
- SEMI-GLOSS PAINT FINISH ON ALL CEILINGS, REFER SPECIFICATIONS.
- CONTRACTOR TO PROVIDE MOCK UP OF ALL PAINTS AND SHEENS REQUESTED.
- ALL H.M. FRAMES AND DOORS PAINTED TO MATCH ADJACENT WALL COLOR W/ SEMI-GLOSS ALKYL ENAMEL FINISH.
- ALL DIFFUSERS AND LOUVERS TO BE SHOP PAINTED TO MATCH ADJACENT FINISH W/ SEMI-GLOSS FINISH. COLOR TO BE APPROVED BY OWNER/ARCHITECT. SUBMIT STANDARD FINISHES FOR SELECTION.
- RESTROOM WALLS: BLOCK FILLER W/ MINIMUM TWO COATS OF SEMI-GLOSS EPOXY PAINT FINISH. REFER SPECIFICATIONS.
- UTILITY CHASE WALLS: MASONRY PAINT
- PAINT COLORS BY ARCHITECT.

HARDWARE

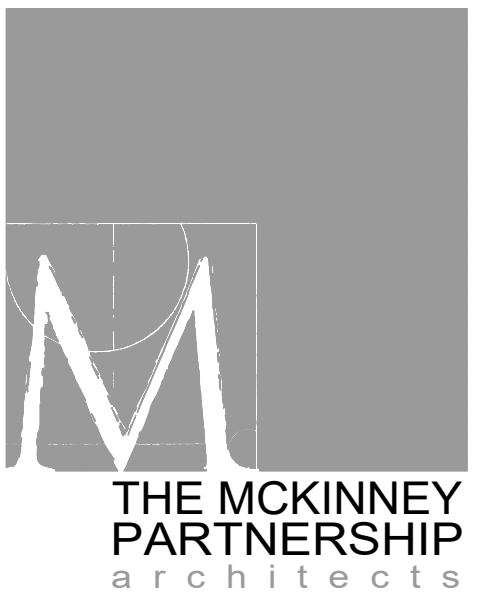
- ALL DOOR HARDWARE TO BE HEAVY DUTY STAINLESS STEEL AND MOUNTED PER MFG. INSTRUCTIONS AND ALL LAYOUT PENCIL MARKS TO BE REMOVED FROM DOOR AND HARDWARE
- IT IS THE INTENT OF THE DESIGN TO HAVE FOR ALL FASTENERS AND CONNECTORS TO BE CONCEALED FROM VIEW AS MUCH AS POSSIBLE.

TOILET PARTITIONS

- COLOR TO BE SELECTED BY ARCHITECT
- BASIS OF DESIGN IS SOLID COLOR REINFORCED COMPOSITE PARTITION, WALL SUPPORTED PARTITIONS - REFER SPECIFICATIONS.
- MFR. HEAVY DUTY COAT HOOK @ INTERIOR OF RESTROOM STALLS, MOUNTED AT ADA COMPLIANT HEIGHT - STAINLESS STEEL.
- HINGES ARE HEAVY DUTY VANDAL RESISTANT CONTINUOUS STAINLESS STEEL.
- 6'-0" TALL FLOOR MOUNTED STILES EA. SIDE OF DOOR.

CMU

- ALL EXPOSED CMU CORNERS TO BE GROUND TO A 3/8" RADIUS INCLUDING TOPS OF PARTITION WALLS



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Project:

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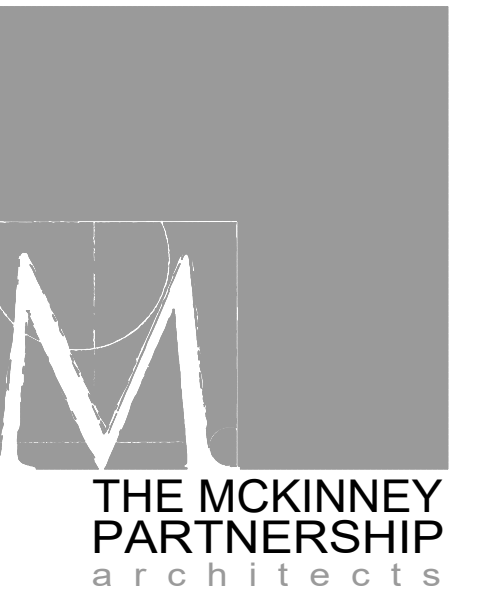
Revisions:

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Sheet Title:
FOUNDATION PLAN
FOOTING DETAILS

Sheet Number:

A2.0



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Sheet Title:
**REFLECTED CEILING PLAN
ROOF PLAN
FRAMING PLAN
DOOR DETAILS, DOOR AND
WINDOW SCHEDULE**

Sheet Number:

A3.0

DOOR SCHEDULE

NOTE: NEW DOORS AND FRAMES TO RECEIVE PAINT FINISH. REFER TO FINISH SCHEDULE.

SYMBOL	SIZE	HEAD	JAMB	THRESHOLD	TYPE	MATERIALS	FINISH	FRAME	HRDWR	SIGNAGE, REFER TO A0.1	REMARKS
100	3'-0" x 7'-0" x 1 3/4"	06/A3.0 SIM.	07/A3.0 SIM.	05/A3.0	FLUSH	GALV. H.M.	PAINT	H.M. /4" HD.	2	N/A	PLUMBING CHASE DOOR/INSUL.
101	3'-0" x 7'-0" x 1 3/4"	06/A3.0	07/A3.0	04/A3.0	FLUSH	GALV. H.M.	PAINT	H.M. /4" HD.	1. INCLUDES ELECTRIC STRIKE, 1-TIMER TO CONTROL ALL 3 DOORS. TIMER TO BE LOCATED IN CHASE. VERIFY POWER SUPPLY.	8"X6" BRATTLE WOMENS ON DOOR, 12"X12" CAST BRONZE, REFER TO 01/A2.0	EXTERIOR/INSUL.
102	3'-0" x 7'-0" x 1 3/4"	06/A3.0	07/A3.0	04/A3.0	FLUSH	GALV. H.M.	PAINT	H.M. /4" HD.		8"X6" BRATTLE MENS ON DOOR, 12"X12" CAST BRONZE, REFER TO 01/A2.0	EXTERIOR/INSUL.
103	3'-0" x 7'-0" x 1 3/4"	06/A3.0	07/A3.0	04/A3.0	FLUSH	GALV. H.M.	PAINT	H.M. /4" HD.		12"X12" CAST BRONZE, REFER TO 01/A2.0	EXTERIOR/INSUL.

NOTES:

- ALL DOORS TO RECEIVE LEVER HANDLES U.O.N.
- NO SIGNAGE ON DOORS TO BE ALUMINUM WITH ALUMINUM LETTERS AND BLACK PONDER GOAT PAINT BACKGROUND. REFER TO A0.1.
- SECTION 4-13.9 OF THE AMERICANS WITH DISABILITIES ACT GUIDELINES (ADAAG) SPECIFIES THAT HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERATING DEVICES ON ACCESSIBLE DOORS SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING, OR TWISTING OF THE WRIST TO OPERATE (LEVER TYPE OR EQUIVALENT).
- REFER TO A0.1 FOR TOILET ACCESSORIES LEGEND.

WINDOW SCHEDULE

SYMBOL	SIZE	REMARKS
W1	2'-0" x 2'-0"	8"X8"X4" GLASS BLOCKS - WECK - CORTINA PATTERN (HIGH DEGREE OF PRIVACY) - COLOR: CLEAR STAINLESS STEEL REINFORCING AS REQUIRED WITH ALL REQUIRED INSTALLATION MATERIALS.

DOOR HARDWARE SETS:

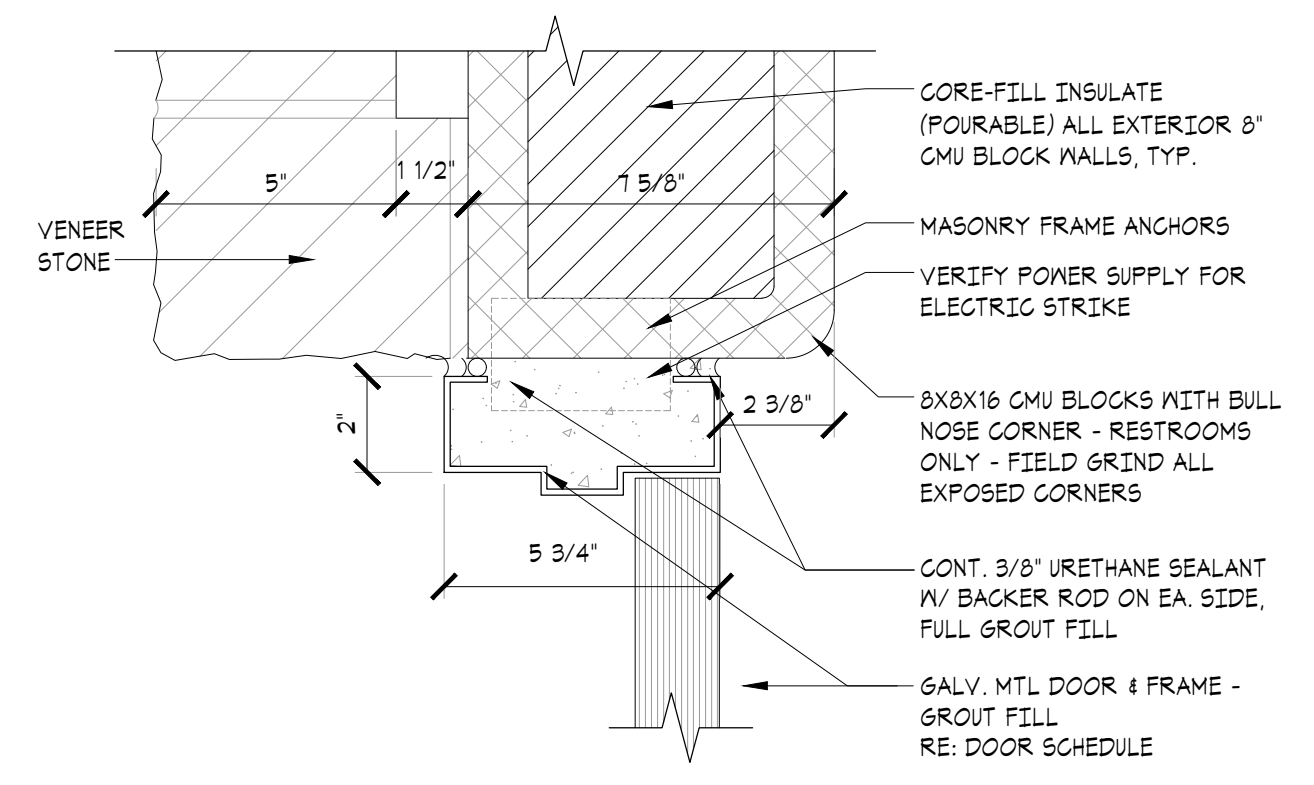
SET # 1 - GALV. METAL DOORS AND H.M. FRAMES				SET # 2 - GALV. METAL DOORS AND H.M. FRAMES					
4 EA.	HINGE	TA2314 4.5 X 4.5	630	MCK	4 EA.	HINGE	TA2314 4.5 X 4.5	613	MCK
1 EA.	LOCKSET	ML205TVR X NSM	630	SGT	1 EA.	LOCKSET	ML205TVR X NSM	613	SGT
1 EA.	LATCH PROT.	LP01	630	MCK	1 EA.	LATCH PROT.	LP01	613	MCK
1 EA.	CLOSER	DC6210 X A4	601	CR	1 EA.	CLOSER	DC6210 X A4	613	CR
1 EA.	ELC. STRIKE	1006	630	HEB	1 EA.	OVH DOOR STOP	1-336	613	RX
1 EA.*	POWER SUPPLY	PS-12/24-1		SEC	1 EA.	KICK PLATE - SS	KP50 8"X DW-2" B3E GSK	613	MCK
1 EA.*	TIMER	DT-1		SEC		MTD. @ PUSH SIDE OF DOOR			
1 EA.	HD FLR STOP	F526	630	MCK	1 EA.	RAIN DRIP	MCK346C X DN + 4	613	MCK
1 EA.	KICK PLATE - SS	KP50 8"X DW-2" B3E GSK	630	MCK	1 EA.	HD WTHR STRP	MCK281DV(X)HD(LJM)		MCK
	MTD. @ PUSH SIDE OF DOOR				1 EA.	DOOR BTM.	MCK345DV		MCK
1 EA.	DOOR STOP W/KEEPER	MCK346C X DN + 4	628	MCK	1 EA.	THRESHOLD	MCK111D		MCK
1 EA.	HD WTHR STRP	MCK281DV(X)HD(LJM)	719	MCK					
1 EA.	DOOR BTM.	MCK245AV	719	MCK					
1 EA.	THRESHOLD	MCK158A - SET IN FULL BED OF SEALANT	719	MCK					

NOTE: * ELECTRIC STRIKE FAIL SECURE, CONTROLLED BY SINGLE POWER SUPPLY/TIMER OPERATING ALL THREE DOORS, KEYS LOCKSET OUTSIDE LEVER RIGID, ALWAYS OPERABLE FROM EGRESS SIDE.

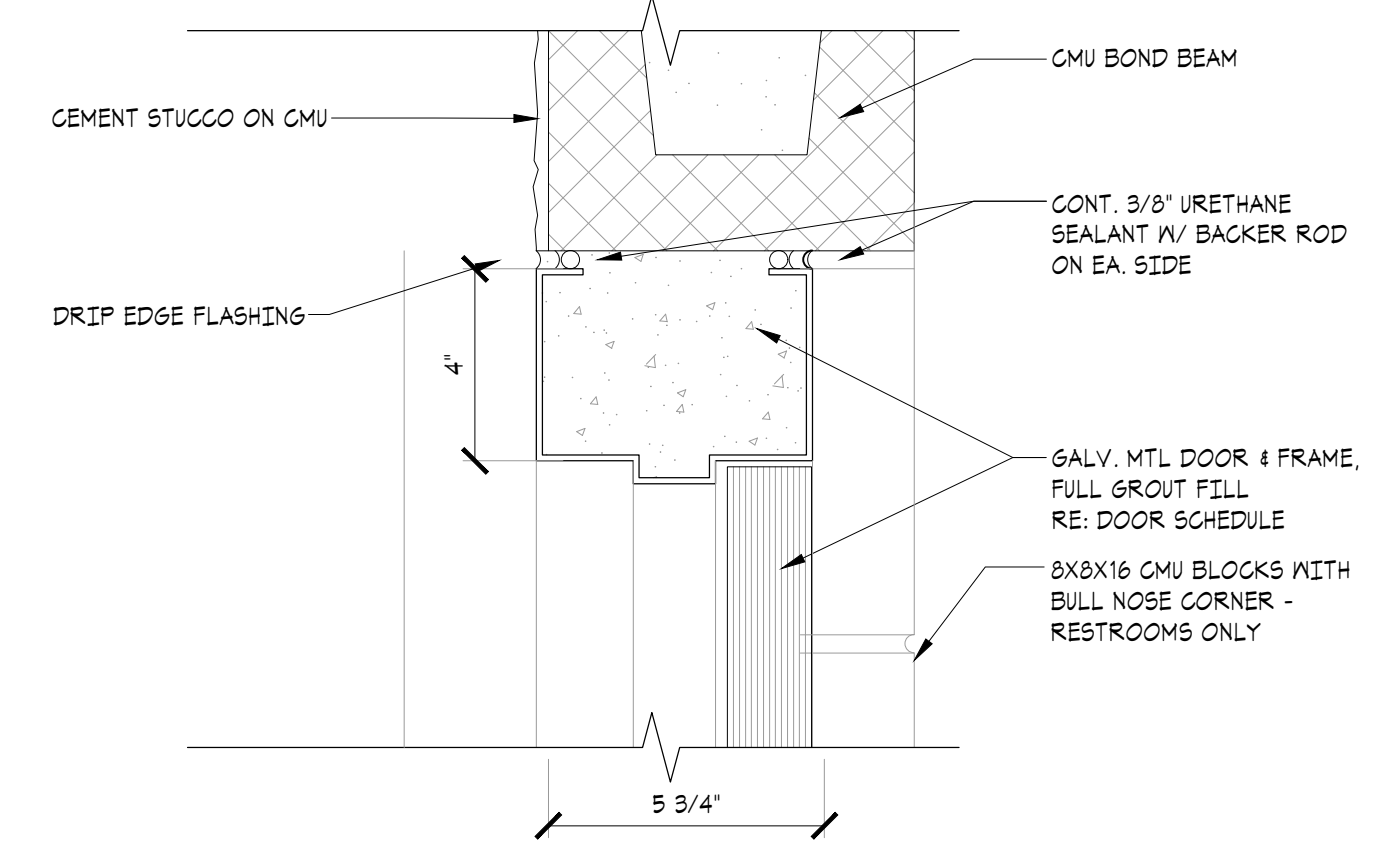
REFLECTED CEILING PLAN LEGEND:

MARK	SYMBOL	DESCRIPTION
A	□	RECESSED LED 12"X12" LIGHT FIXTURE - OCCUPANCY SENSOR CONTROLLED
A1	□	RECESSED LED EM 12"X12" LIGHT FIXTURE - OCCUPANCY SENSOR CONTROLLED
B1	▭	SURFACE MOUNT 4" LED LIGHT - OCCUPANCY SENSOR CONTROLLED
C	□	EXTERIOR RECESSED LED ADJUSTABLE WALL WASHER LIGHT - PHOTO CELL ON / TIME CLOCK OFF
E	□	EXTERIOR LED WALL PACK - PHOTO CELL ON / TIME CLOCK OFF
OS	⊙	CEILING MOUNTED OCCUPANCY SENSOR
OA	⊗	OUTSIDE AIR SUPPLY GRILLE, RE: MECH.
EF	⊕	EXHAUST FAN GRILLE, RE: MECH.
CH-1	⊕	FAN FORCED WITH SURFACE FRAME

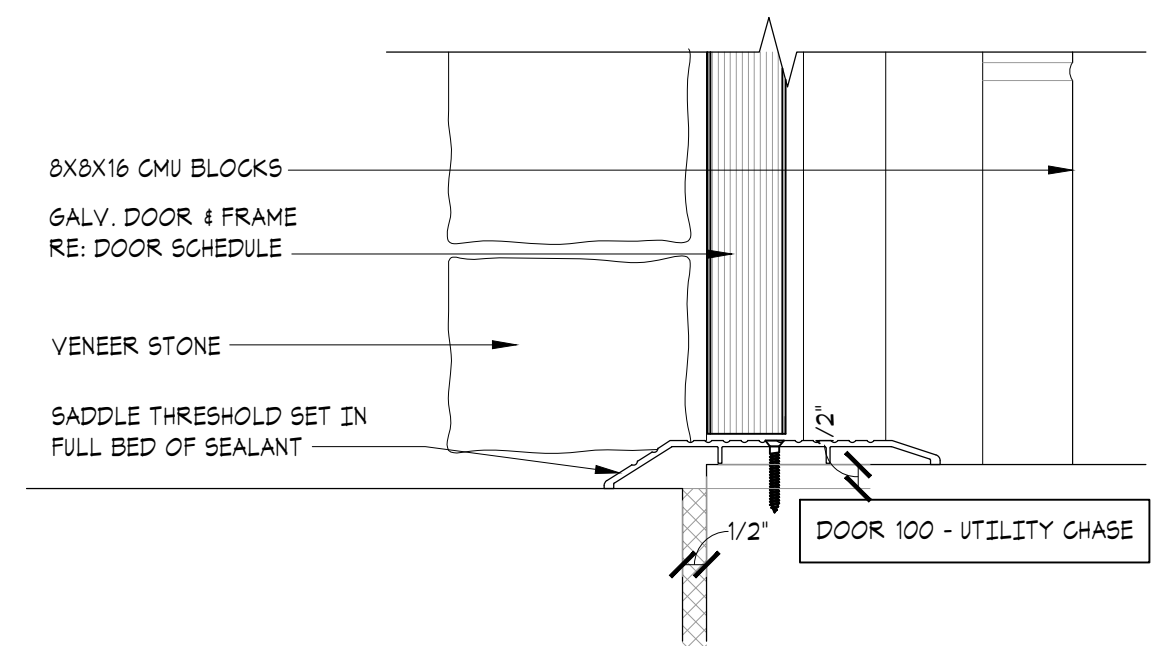
NOTE: REFER TO ELECTRICAL/MECHANICAL PLANS FOR ALL DETAILS AND SPECIFICATIONS.



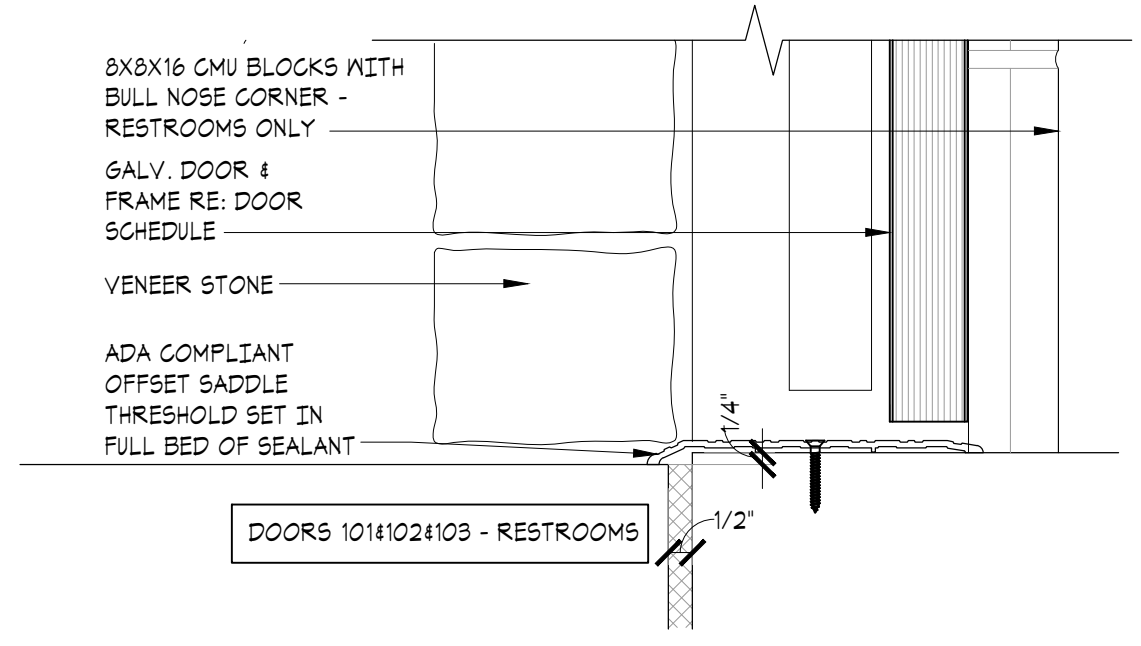
07 DOOR JAMB @ RR
SCALE: 3" = 1'-0"



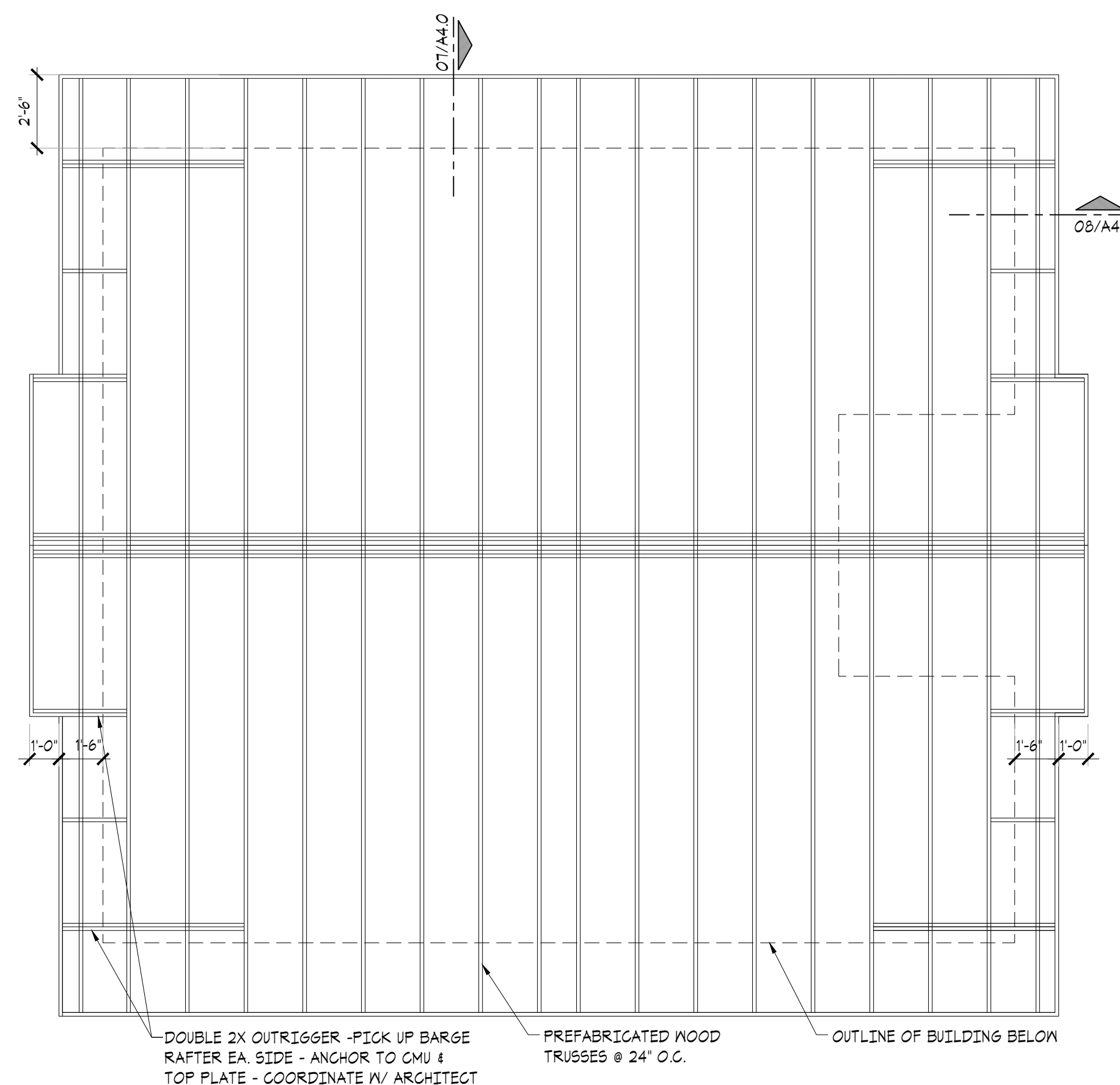
06 DOOR HEAD @ RR
SCALE: 3" = 1'-0"



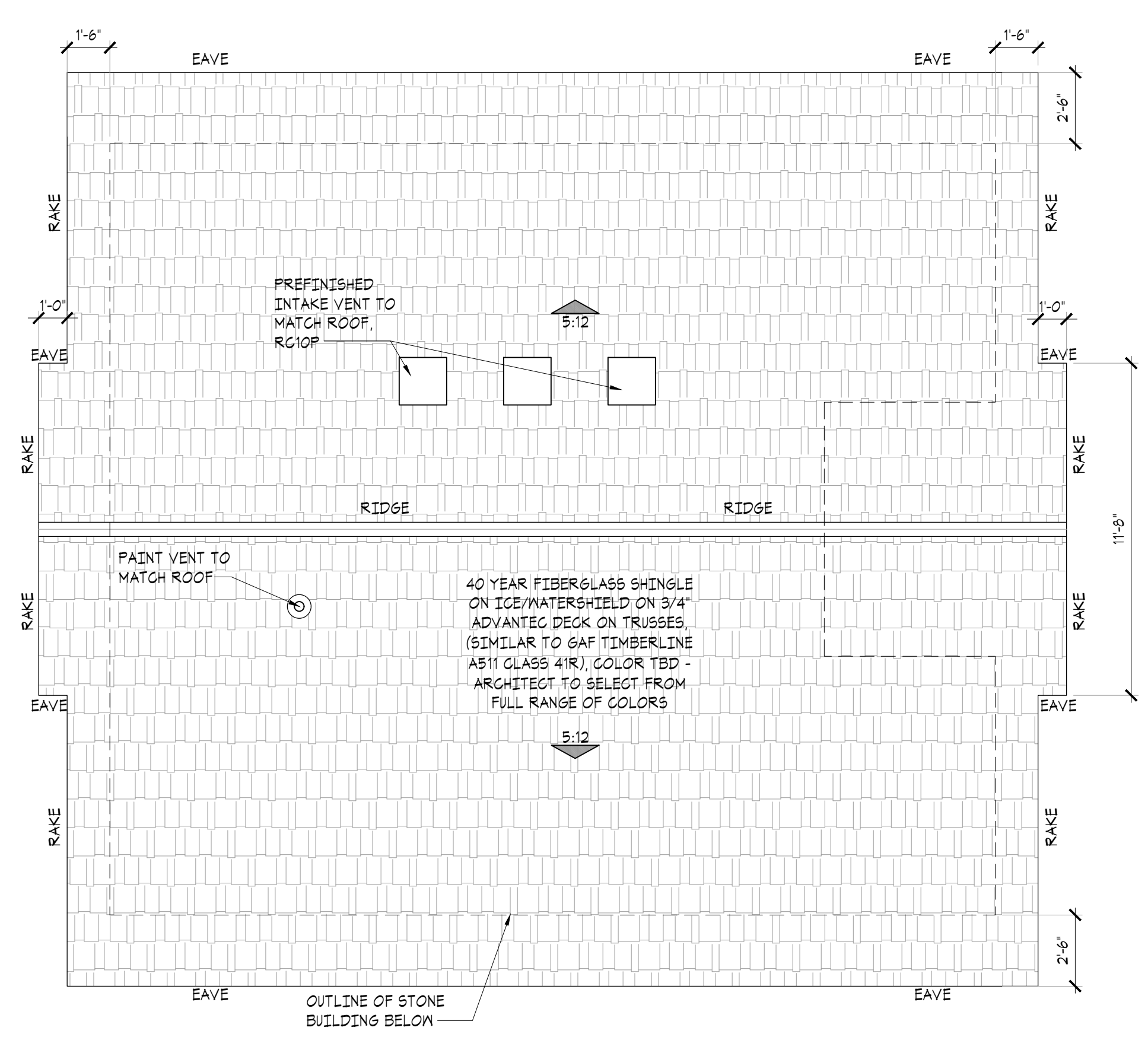
05 DOOR SILL @ CHASE
SCALE: 3" = 1'-0"



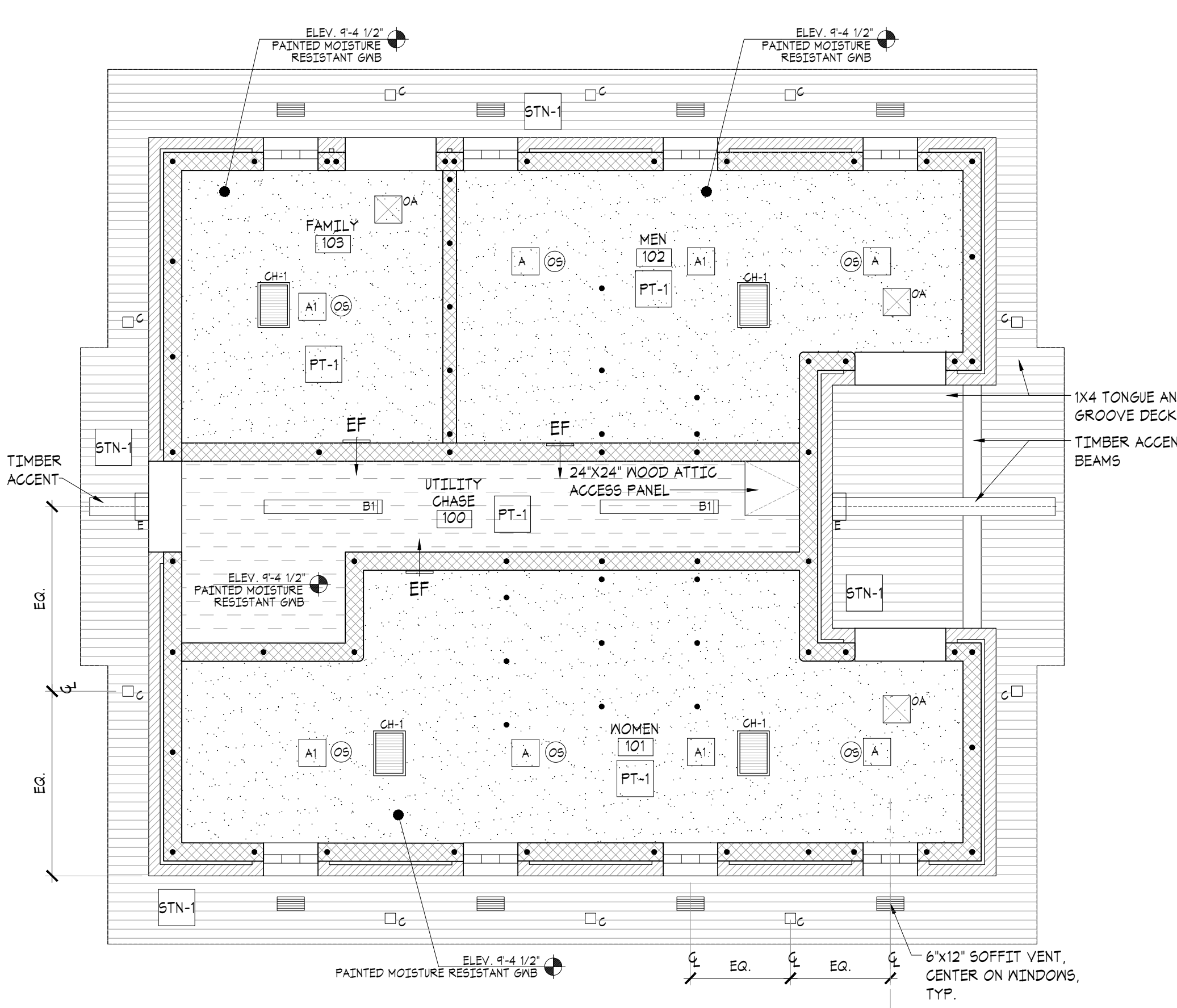
04 DOOR SILL @ RESTROOMS
SCALE: 3" = 1'-0"



03 FRAMING PLAN
SCALE: 1/4" = 1'-0"

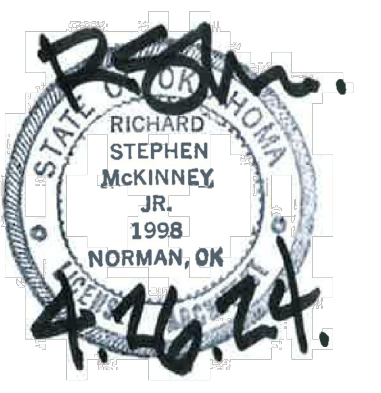


02 ROOF PLAN
SCALE: 1/4" = 1'-0"



01 REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"

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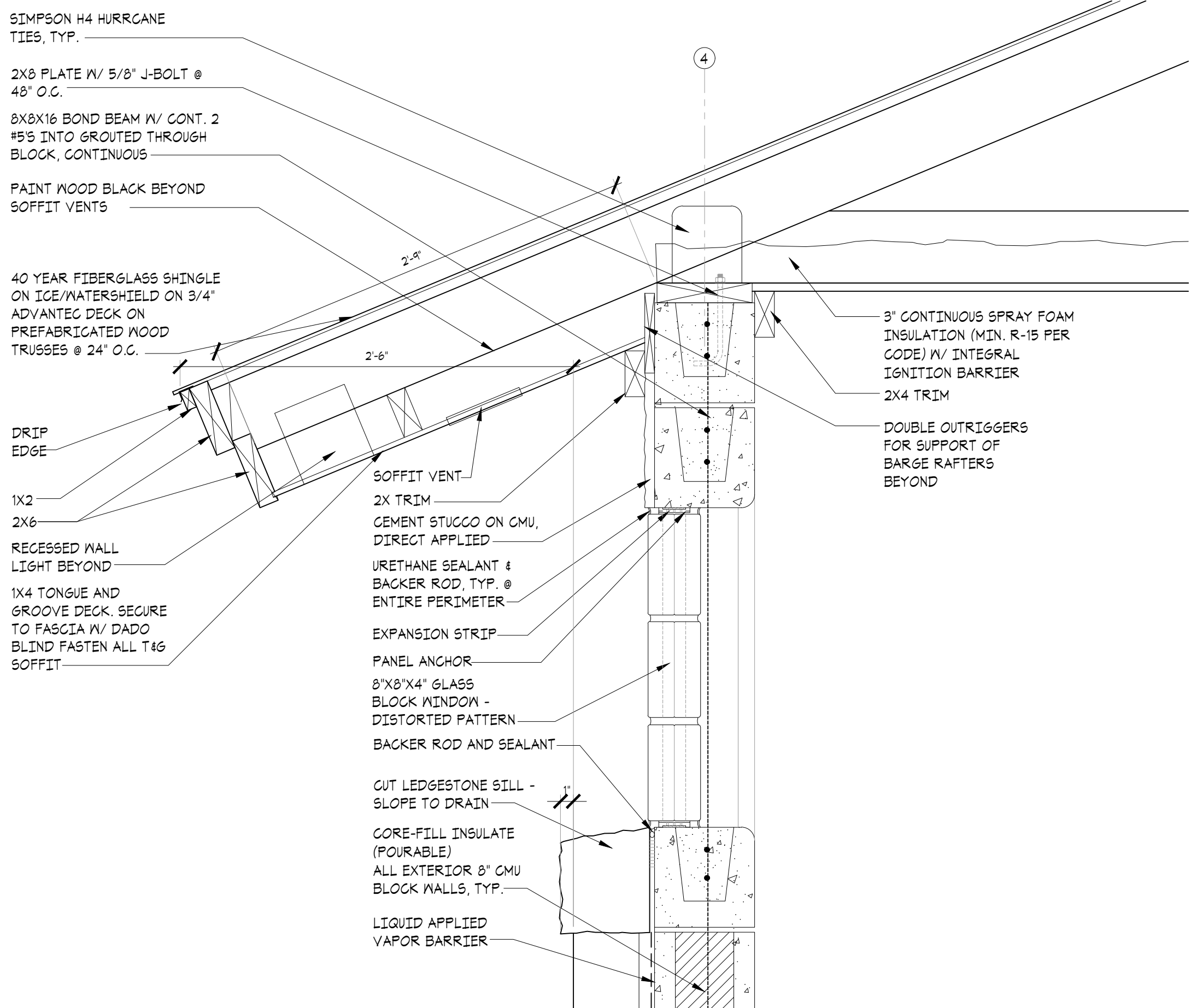
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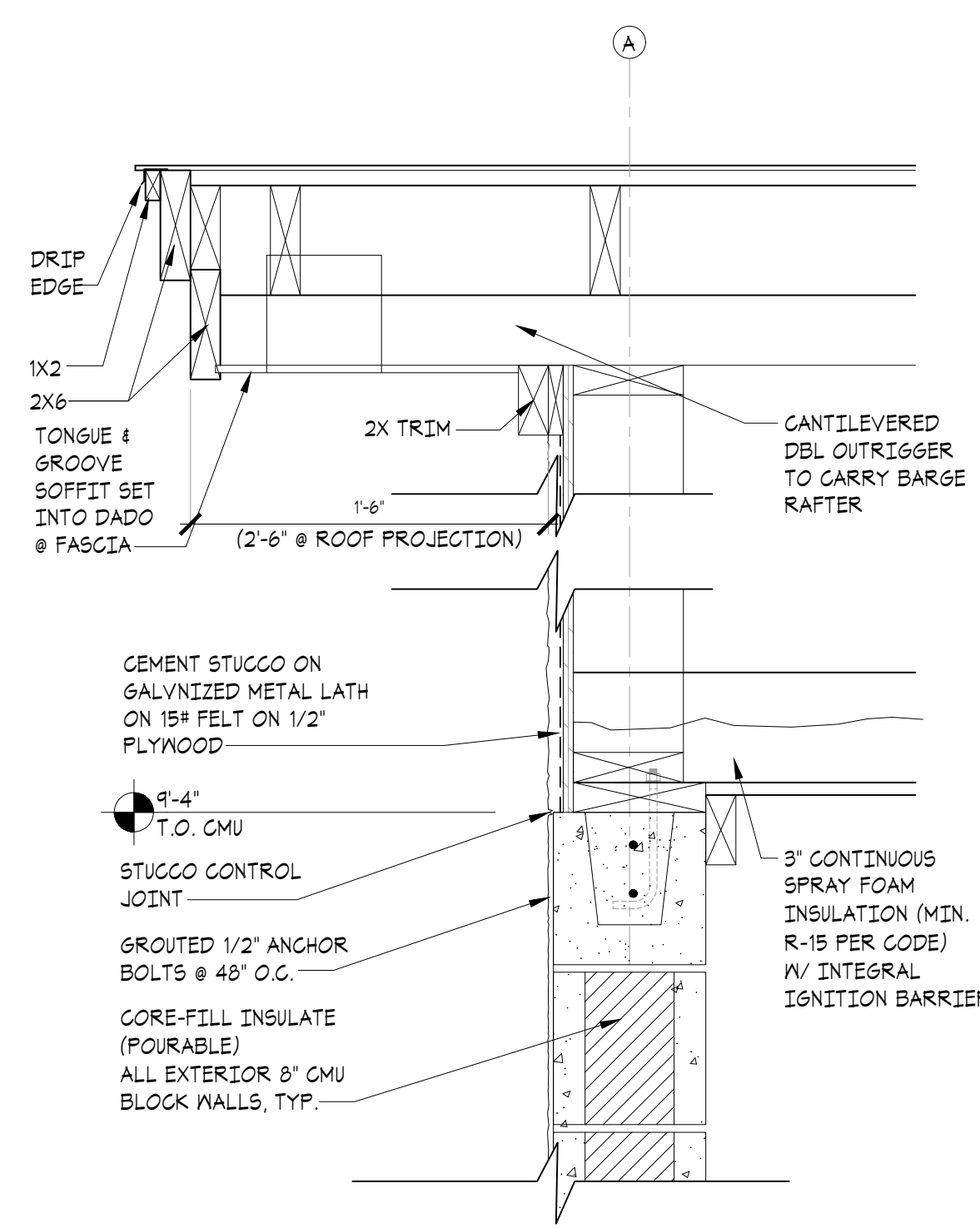
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**BUILDING ELEVATIONS
BUILDING SECTION
SECTION DETAILS**

Sheet Number:

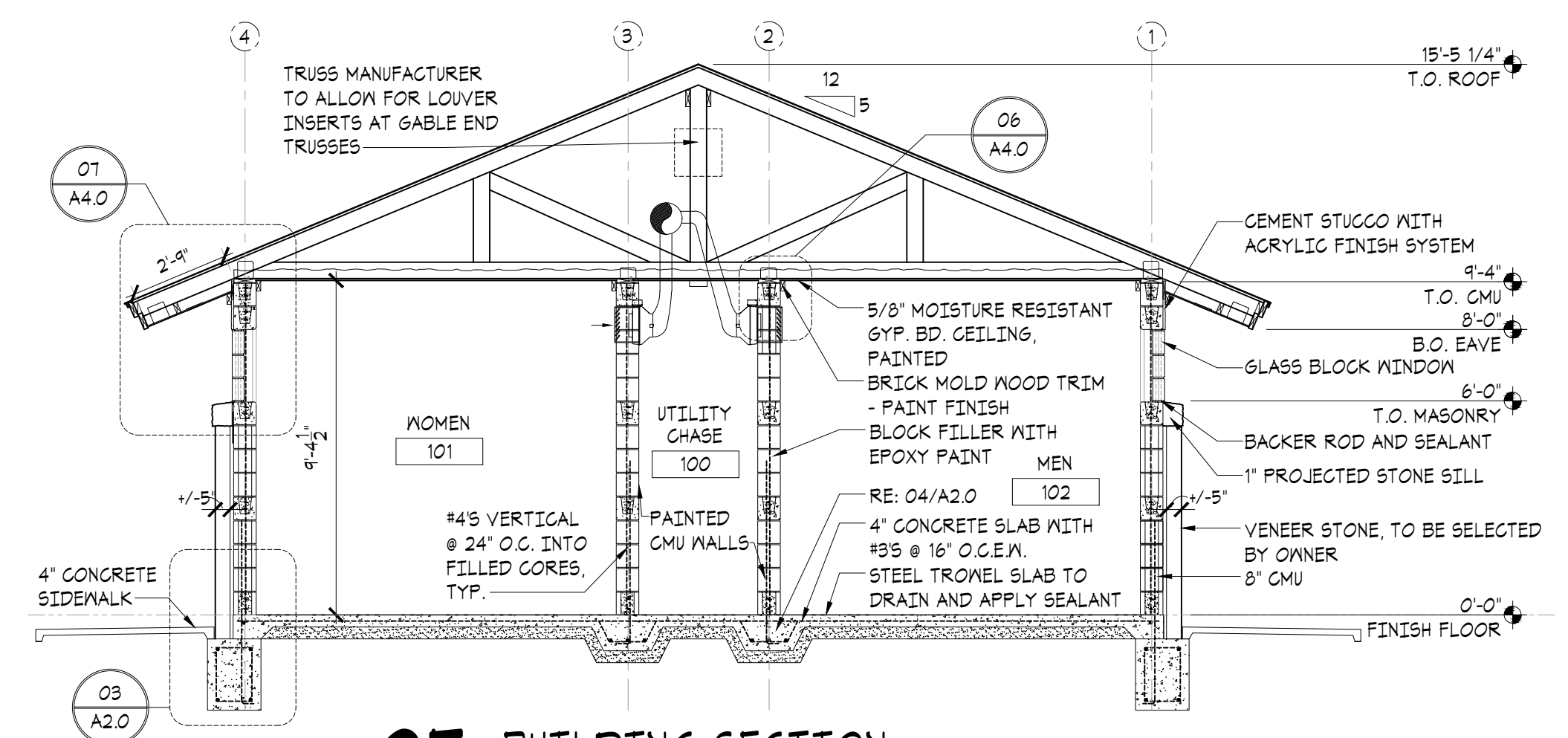
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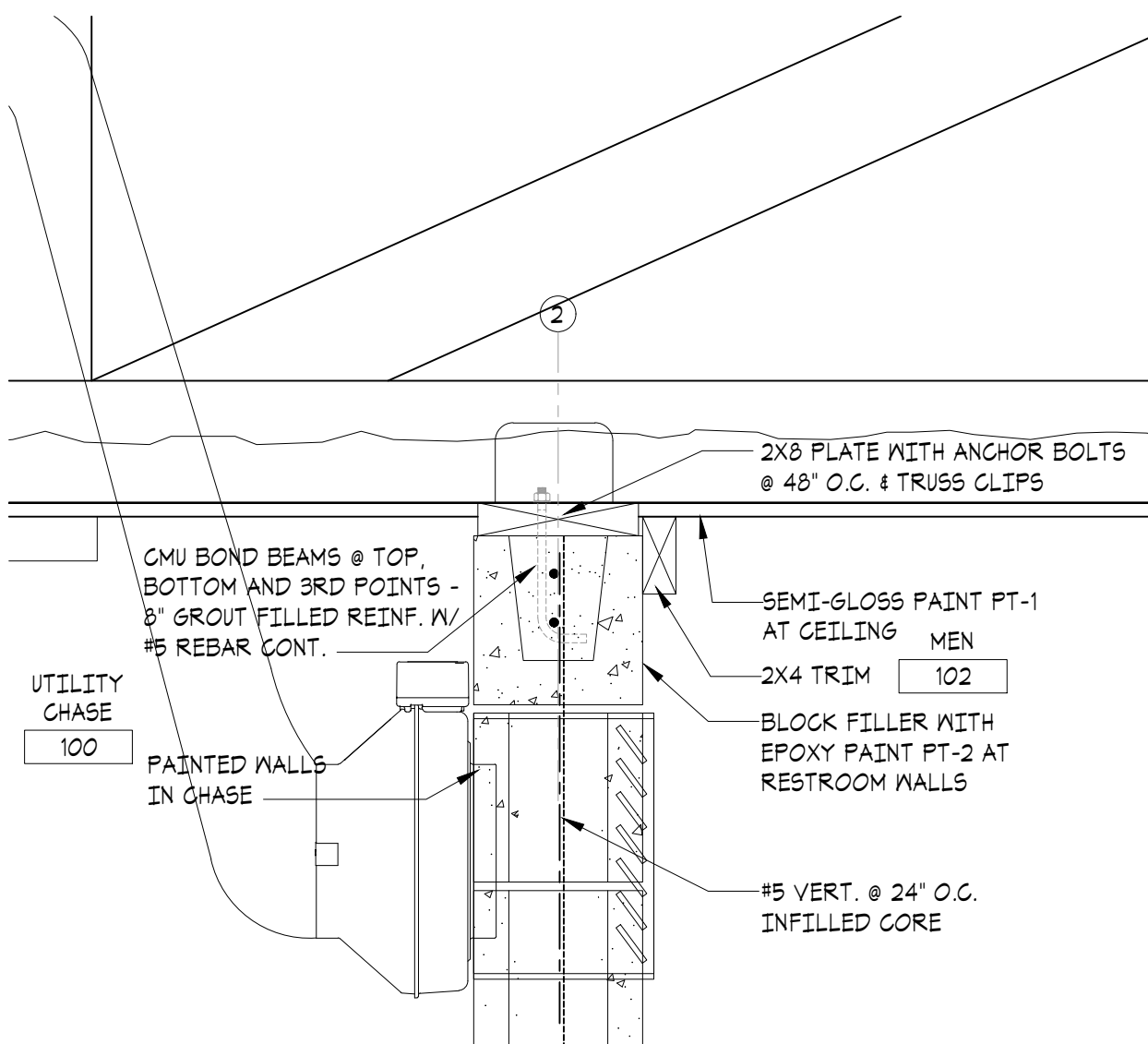
07 SLOPED OVERHANG DETAIL
SCALE: 1-1/2" = 1'-0"



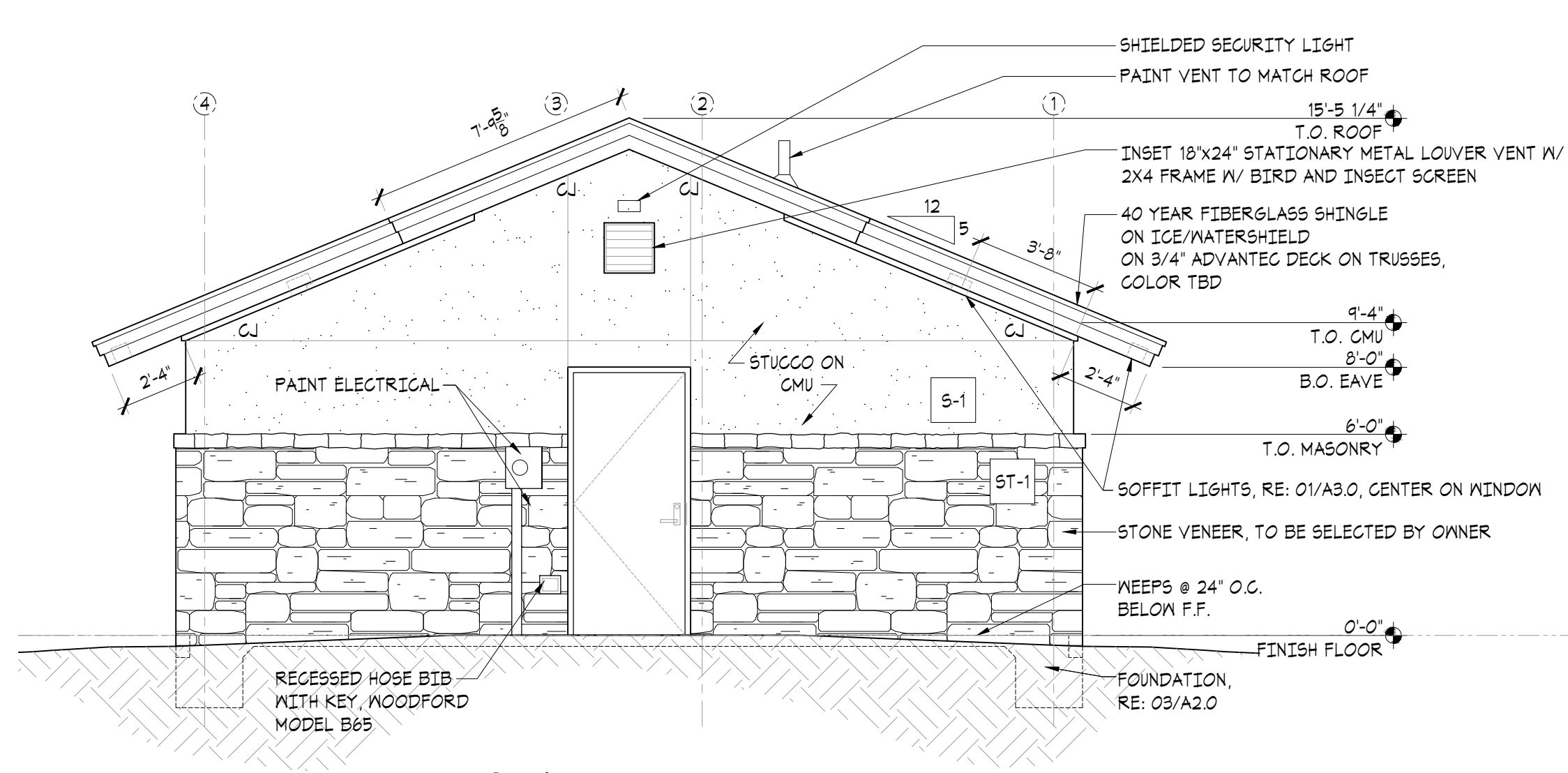
08 GABLE OVERHANG DETAIL
SCALE: 1-1/2" = 1'-0"



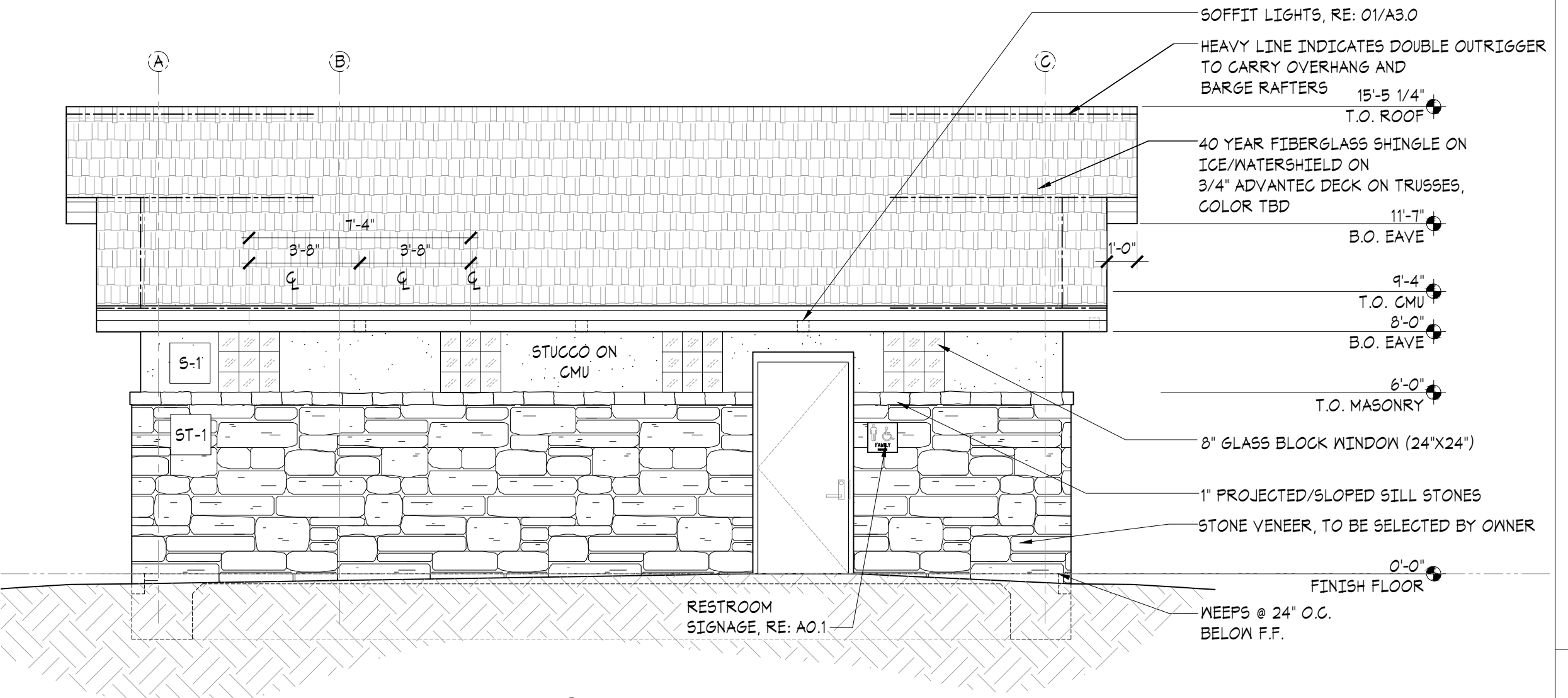
05 BUILDING SECTION
SCALE: 1/4" = 1'-0"



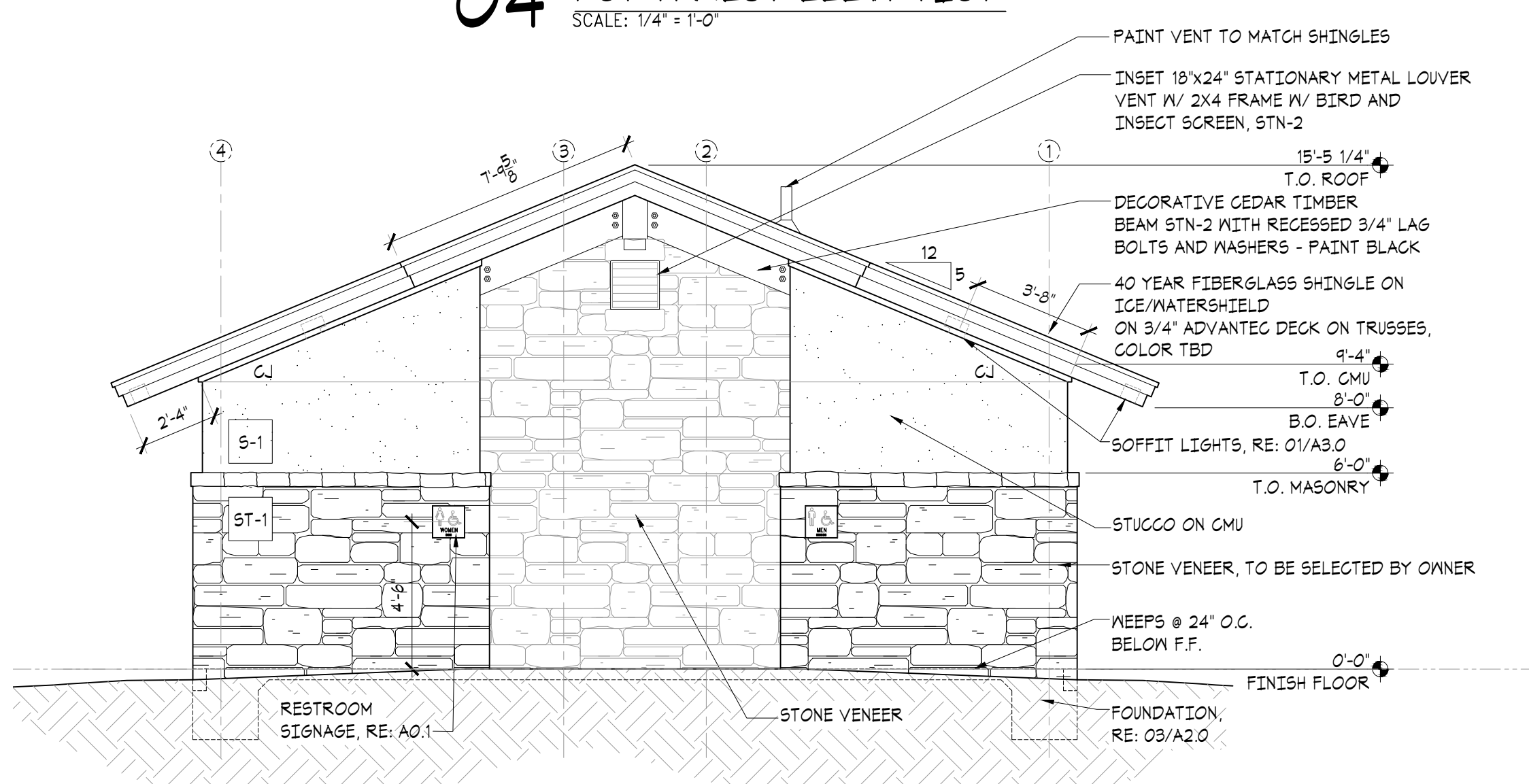
06 TOP PLATE DETAIL
SCALE: 1-1/2" = 1'-0"



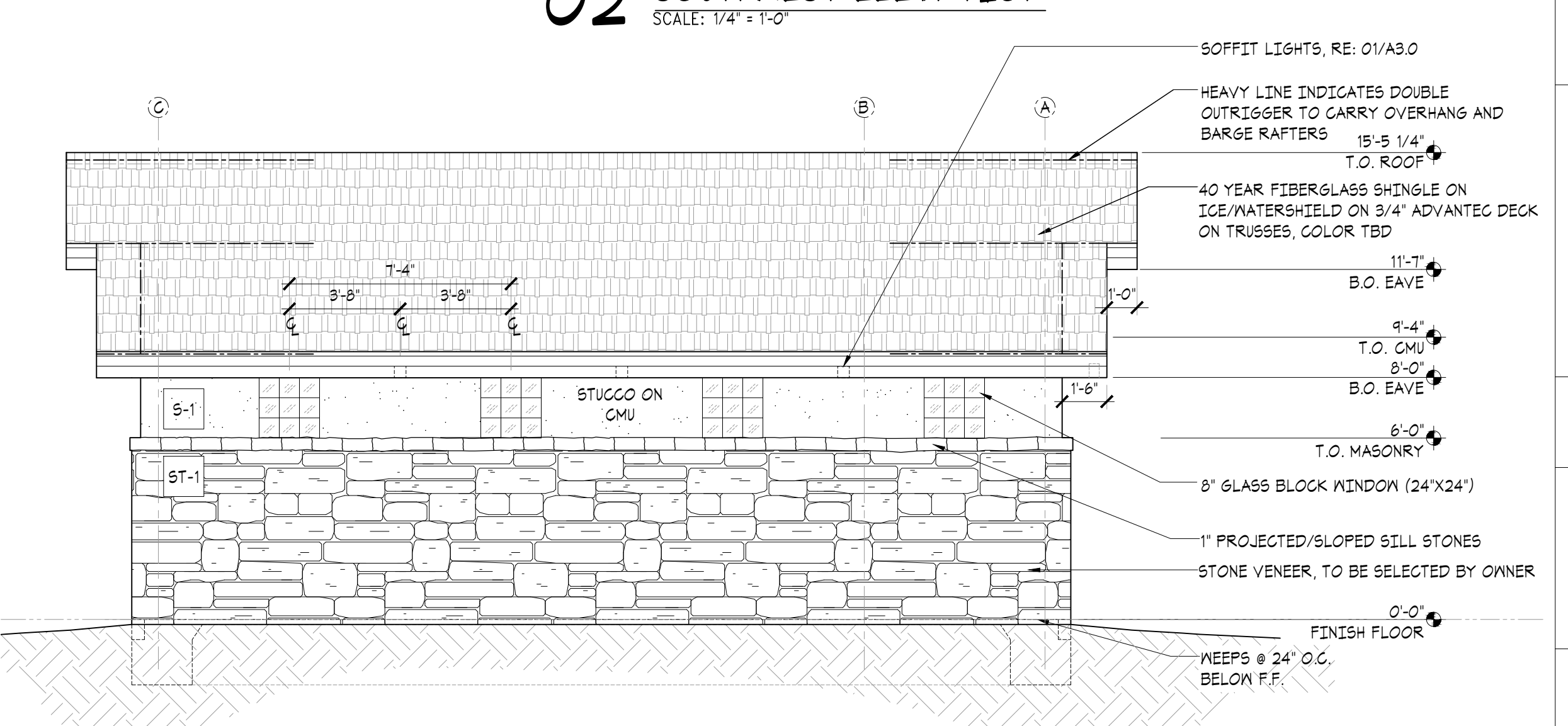
04 NORTHWEST ELEVATION
SCALE: 1/4" = 1'-0"



02 SOUTHWEST ELEVATION
SCALE: 1/4" = 1'-0"



03 SOUTHEAST ELEVATION
SCALE: 1/4" = 1'-0"



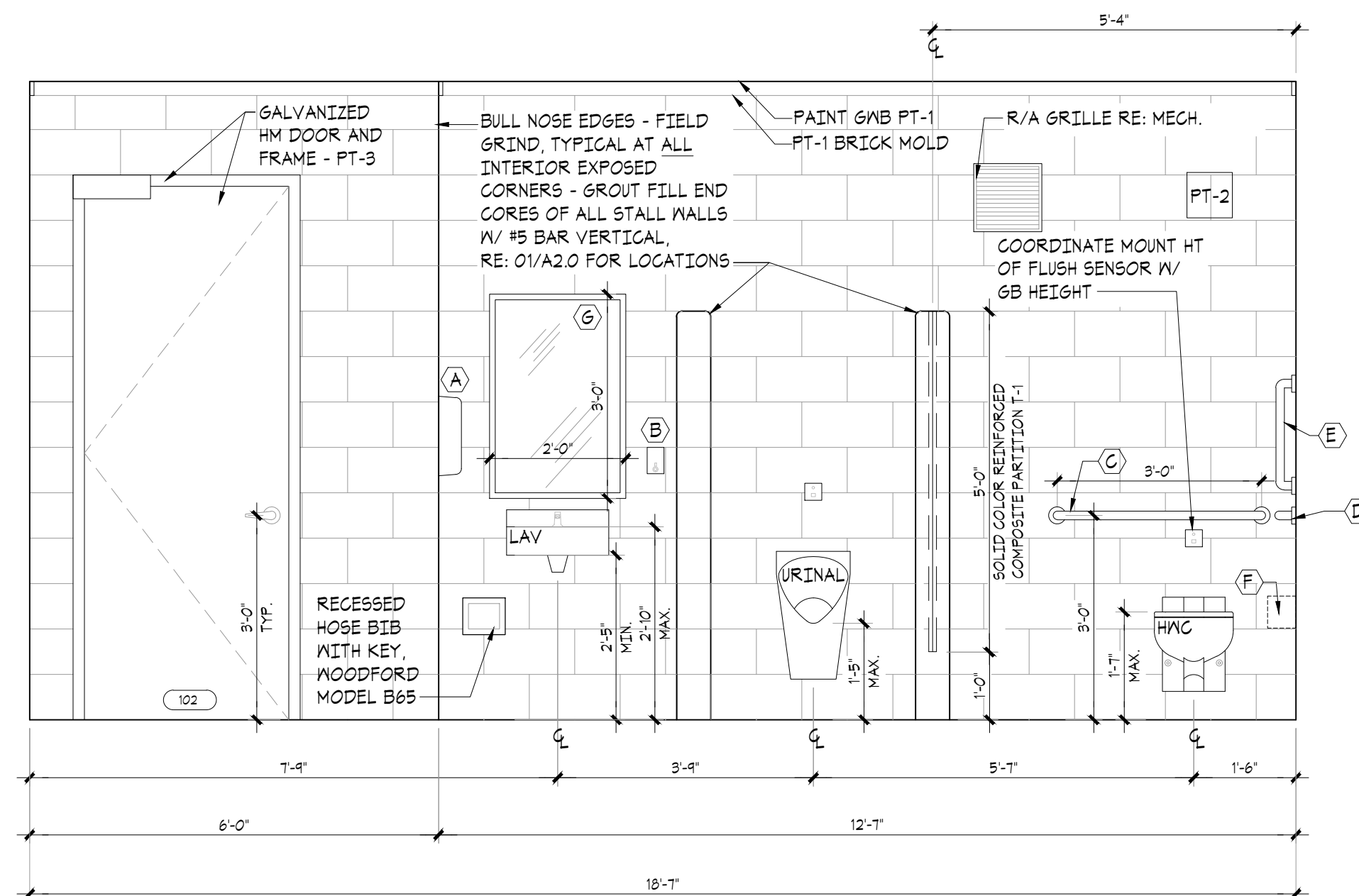
01 NORTHEAST ELEVATION
SCALE: 1/4" = 1'-0"

FINISH NOTES

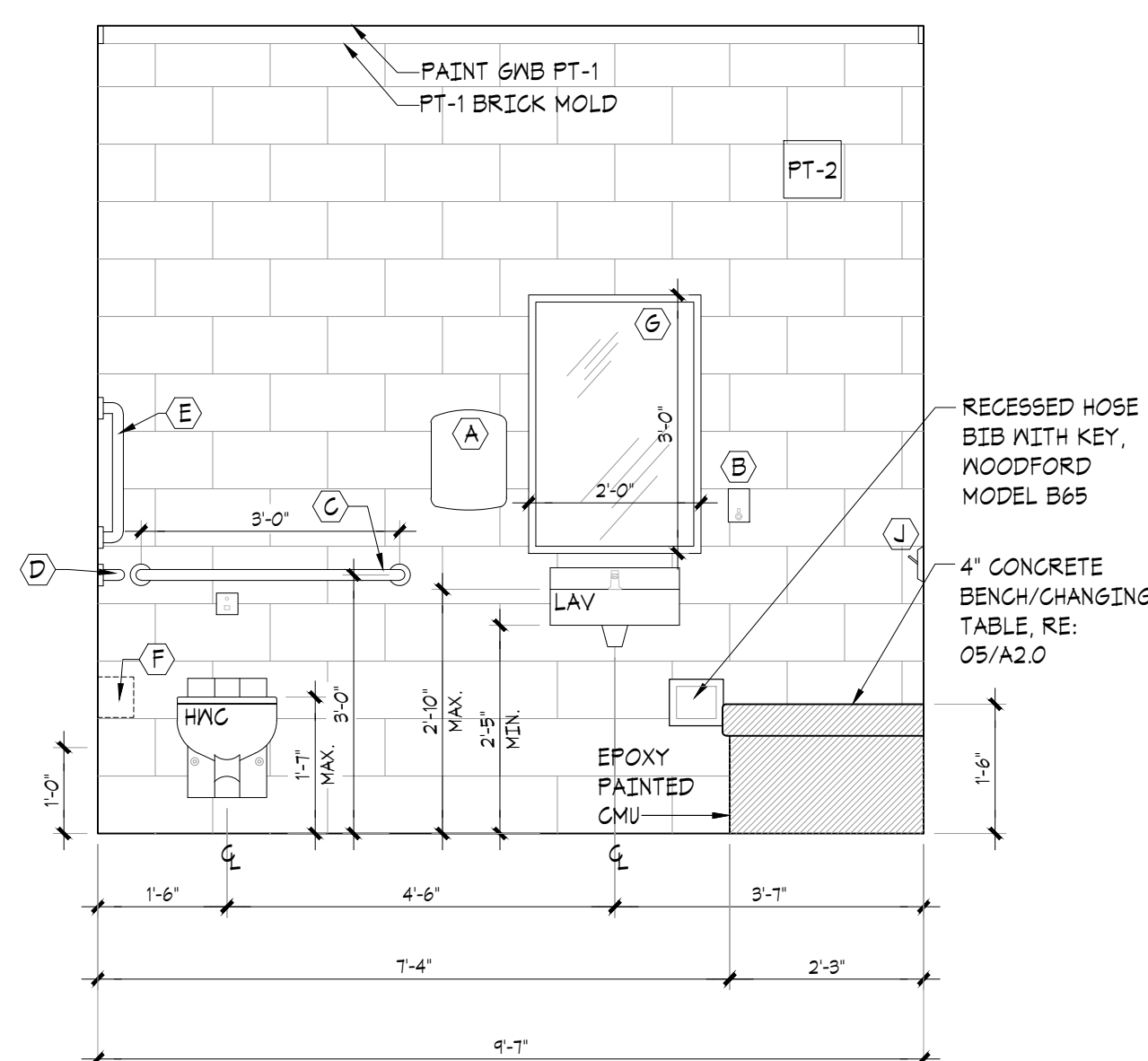
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER PREPARATION OF ALL NEW SURFACES IN A SATISFACTORY MANNER TO RECEIVE NEW FINISHES. THIS INCLUDES THE DEMOLITION AND REMOVAL OF NECESSARY ITEMS. TOUCH-UP AND/OR REFINISH OF SURFACES DAMAGED BY SUBSEQUENT WORK SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. ALL WORK SHALL BE PERFORMED IN CONFORMANCE WITH THE MANUFACTURER'S RECOMMENDED INSTALLATION METHODS. THE GENERAL CONTRACTOR SHALL PREPARE THE FLOOR PRIOR TO THE APPLICATION OF SEALANT.
- ALL SURFACES WHICH ARE TO RECEIVE A PAINT FINISH SHALL BE PRIMED AND FINISHED IN ACCORDANCE WITH THE WRITTEN SPECIFICATIONS.
- ALL JOINTS IN GYPSUM BOARD WALLS SHALL BE FINISHED WITH PAPER TAPE 2" WIDE AND THREE COATS OF VINYL DRY OR PREMIXED JOINT COMPOUND. ALL OUTSIDE CORNERS SHALL BE FINISHED WITH METAL CORNER BEADS, TAPED AND SPACKLED. JUST PRIOR TO THE APPLICATION OF THE FIRST COAT OF PAINT, WIPE SANDED SURFACES WITH A DAMP CLOTH IN ORDER TO LAY FLAT ANY NAP WHICH MAY HAVE FORMED IN SANDING.
- ALL FINISHES SHALL BE TOUCHED UP TO CORRECT ANY IMPERFECTIONS AFTER INSTALLATION. FIXTURE CONTRACTOR SHALL PROVIDE TO THE GENERAL CONTRACTOR ALL MATERIALS FOR TOUCH UP WORK.
- THE INTENT OF THE FINISH SPECIFICATION IS TO PROVIDE A SATISFACTORY FINISH TO ALL PARTS OF THE WORK. COVER ALL SURFACES THOROUGHLY. IF THE SPECIFIED NUMBER OF COATS DOES NOT ACCOMPLISH THE INTENT, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE APPLICATION OF ADDITIONAL COATS OF THE SPECIFIED MATERIAL TO GIVE SATISFACTORY COVERAGE.
- PARTITIONS TO BE SOLID COLOR WITH REINFORCED COMPOSITE (T-1) WITH FULL HT. STAINLESS STEEL HEAVY DUTY HARDWARE - SUBMIT FOR APPROVAL.
 - NOTE - PARTITIONS SHALL BE PROVIDED WITH:
 - A. HEAVY GAUGE TYPE 304 SATIN FINISH STAINLESS STEEL HARDWARE.
 - B. SELF CLOSING HINGE RUNS FULL HEIGHT OF DOOR
 - C. THROUGH-BOLTED PANEL TO STILE ANGLE BRACKETS AND U-CHANNELS RUN FULL HEIGHT OF PANELS
 - D. VANDAL RESISTANT DOOR STOPS: CLOTHES HOOK
 - E. REINFORCED LATCH WITH THROUGH-BOLTED KEEPER
 - F. FOR EMERGENCY ACCESS DOOR LIFTS FROM OUTSIDE.

FINISH SCHEDULE

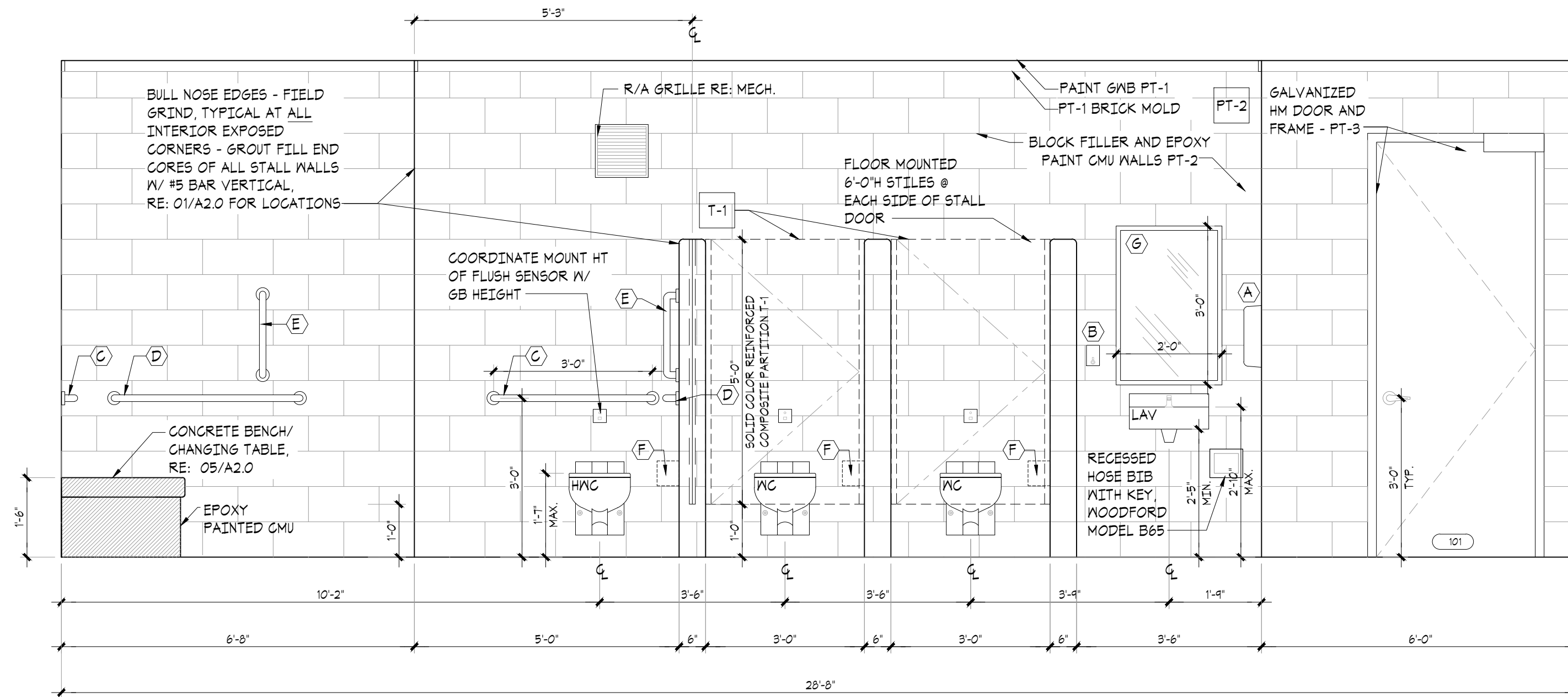
FINISH CODE	MATERIAL	MANUFACTURER	DESCRIPTION/CATALOG NO.
PT-1	PAINT & PRIMER	SHERWIN WILLIAMS	SW 910 MALABAR GNB CEILING SEMI-GLOSS @ CEILING, 2 COATS
PT-2	EPOXY PAINT	SHERWIN WILLIAMS	SW 910 MALABAR, MACROPOXY H5, HIGH SOLIDS EPOXY PAINT (BLOCK FILLER - KEM CATI-COAT H5 EPOXY FILLER/SEALER) CMU WALLS - 1 COAT BLOCK FILLER, 2 COATS EPOXY PAINT SEMI-GLOSS @ WALLS
PT-3	PAINT	SHERWIN WILLIAMS	SW 910 MALABAR HM DOORS AND FRAMES SEMI-GLOSS @ METAL - PRIMER & 2 COATS
F-1	SEALED CONCRETE	CONCRETE SEALERS USA	PS101 SILICONATE MULTI-SURFACE (SMOOTH) WATER-BASED PENETRATING SEALER - ZERO VOC
STN-1	STAIN	TBD	COLOR TBD, CONTRACTOR TO SUBMITTAL FULL RANGE OF COLORS FOR ARCHITECT TO SELECT FROM
STN-2	STAIN	TBD	COLOR TBD, CONTRACTOR TO SUBMITTAL FULL RANGE OF COLORS FOR ARCHITECT TO SELECT FROM
S-1	STUCCO	TBD	COLOR TBD CEMENT STUCCO
ST-1	STONE VENEER	MINICK MATERIALS	COLOR & PATTERN TBD FROM STANDARD STOCK, COLOR TO BE SELECTED BY OWNER, COLORED GROUT TBD
T-1	TOILET PARTITIONS	BOBRICK, MANUFACTURER'S REP: DENA TAYLOR (682) 704-0244 dena@archspecinc.com	SOLID COLOR REINFORCED COMPOSITE WALL SUPPORTED PARTITIONS, 1090 SERIES SIERRA - COLOR TBD - SUBMIT COLOR CHART FOR APPROVAL, MFR: HEAVY DUTY COAT HOOK @ INTERIOR OF RESTROOM STALLS - MOUNTED AT ADA COMPLIANT HEIGHT - STAINLESS STEEL, HINGES ARE HEAVY DUTY VANDAL RESISTANT CONTINUOUS STAINLESS STEEL, 6'-0" TALL FLOOR MOUNTED STILES EA. SIDE OF DOOR, GAP FREE DOORS AND STILE, THRU BOLT HARDWARE PER MANUFACTURER'S RECOMMENDATIONS TO BE INSTALLED BY BOBRICK APPROVED INSTALLER ONLY, CONTACT MANUFACTURER'S REP, DENA TAYLOR, FOR LIST OF APPROVED INSTALLERS



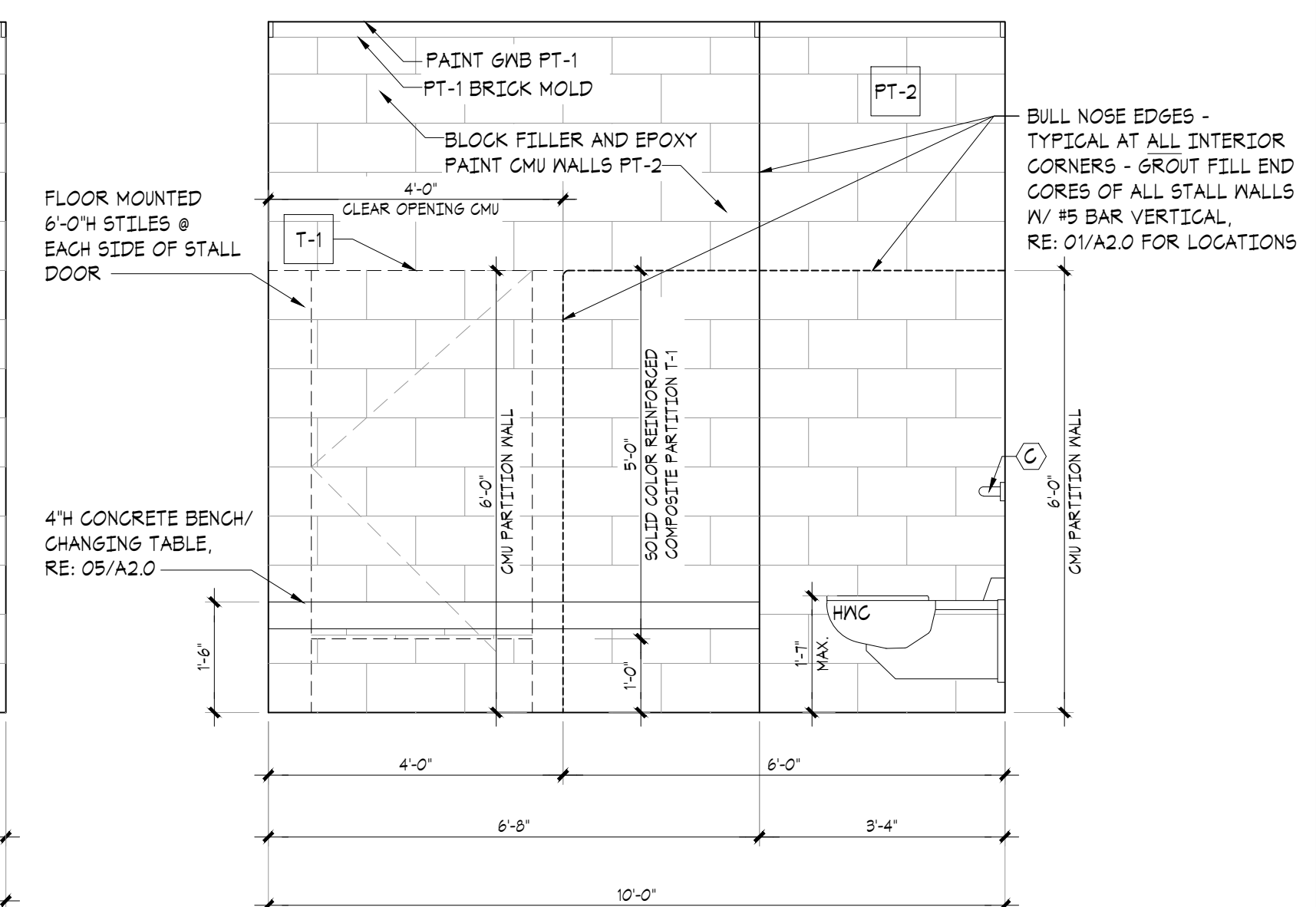
04 MENS RESTROOM 102
SCALE: 1/2" = 1'-0"



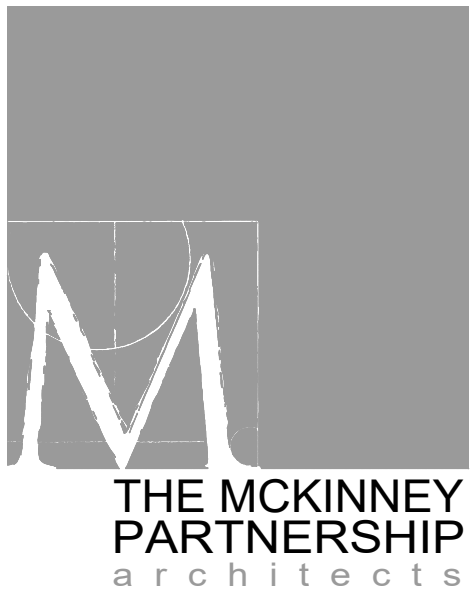
03 FAMILY 103
SCALE: 1/2" = 1'-0"



02 WOMENS RESTROOM
SCALE: 1/2" = 1'-0"



01 WOMENS RESTROOM 101
SCALE: 1/2" = 1'-0"



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Sheet Title:
INTERIOR ELEVATIONS

Sheet Number:

A5.0

LIGHT FIXTURE LEGEND

MARK	SYMBOL	DESCRIPTION	MANUFACTURER	MODEL NUMBER	SPECS
A	□	RECESSED LED 12"X12" LIGHT FIXTURE - OCCUPANCY SENSOR CONTROLLED, NET LOCATION	KIRKLAND LIGHTING	LR5-11595-6500L 120-95K-26-45-46	74W LED
A1	□	RECESSED LED BY 12"X12" LIGHT FIXTURE - OCCUPANCY SENSOR CONTROLLED, NET LOCATION	KIRKLAND LIGHTING	LR5-11595-6500L 120V-EI-95K-26-45-46	74W LED
B1	▬	SURFACE MOUNT 4' LED LIGHT - OCCUPANCY SENSOR CONTROLLED	COLUMBIA LIGHTING	LXEM4-35ML-RFF-E-U-ELL14	42W LED
C	□	EXTERIOR RECESSED LED ADJUSTABLE WALL WASHER LIGHT - PHOTO CELL ON / TIME CLOCK OFF	ELITE LIGHTING	HH45QLED-400L-DIMTR-120-30K-MD-40/LED4501-MB-BK	12W LED
E	□	EXTERIOR LED WALL PACK - PHOTO CELL ON / TIME CLOCK OFF	HUBBELL LIGHTING	561-20-9K1-FT-UNV-DB-PCU-E	21W LED

KEY NOTES

- POWER TO HAND DRYER. INSTALL PER MANUFACTURER INSTALLATION MANUAL. COORDINATE FINAL LOCATION IN FIELD WITH ARCHITECT. (1) DEDICATED 20 AMP, 120 VOLT GFCI CIRCUIT PER DRYER. CONCEAL CONDUIT IN CMU WALLS.
- ACCESS CONTROL HARDWARE AT ENTRY DOORS TO RESTROOMS, E.G. TO COORDINATE WITH GC AND OOR MANUFACTURER FOR CONNECTION REQUIREMENTS.

GENERAL NOTES

- BRANCH CIRCUIT WIRING SHALL BE AS FOLLOWS:
 - LIGHTING AND POWER NETWORKS: (120/208V, 3Ø, 4W)
 - 100 FEET OR LESS:
 - PHASE - 3#12 AWG
 - NEUTRAL - 1#12 AWG
 - GROUND - 1#12 AWG
 - GREATER THAN 100 FEET:
 - INCREASE ALL CONDUCTORS BY ONE WIRE GAUGE SIZE.
 - TWO NETWORKS MAXIMUM PER CONDUIT.
- MINIMUM CONDUIT SIZE SHALL BE 3/4"; UNLESS OTHERWISE NOTED OR INDICATED.
- ALL EMERGENCY, EXIT AND NIGHT LIGHTING WIRED AHEAD OF LOCAL SWITCHING.

SWITCH DESIGNATIONS

- OS OCCUPANCY/MOTION SENSOR CONTROL WITH INTEGRAL ADJUSTABLE TIMER, SET TO MAX 30 MINUTES. MAT1STOPPPER PASSIVE INFRARED CEILING SENSOR CB-100
- OS OCCUPANCY SENSOR LIGHT SWITCH

ELECTRICAL SYMBOLS

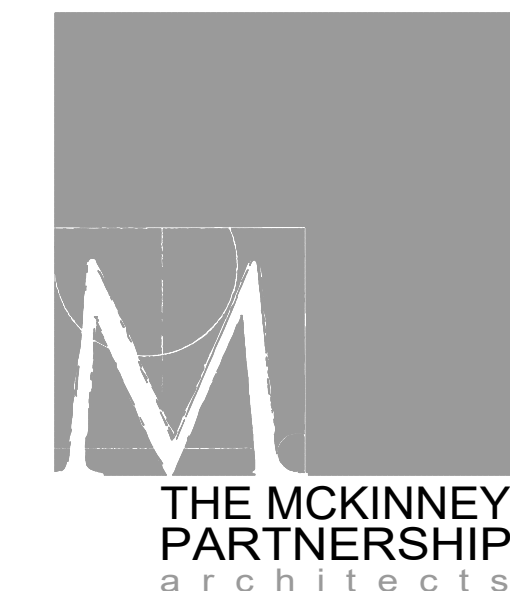
- POWER PANELBOARD OR DISTRIBUTION PANEL, CAPACITY TBD
- RECEPTACLES & OUTLETS (MOUNT BOTTOM OF BOX AT 15" AFF UNO.) (ALL DIM NOTED TO CENTER OF BOX)
- DUPLEX RECEPTACLE, 20A, 120V, 3 WIRE GROUNDED TYPE (WHITE)
- JUNCTION BOX
- GFCI DUPLEX RECEPTACLE, 20A, 120V, 3 WIRE GROUNDED TYPE (WHITE)
- DISCONNECT
- ELECTRIC STRIKE FOR TIMER LOCKS, REFER TO DOOR HARDWARE SET #1 ON SHEET A3.0

MEP DESIGN-BUILD NOTES

- DRAWINGS ARE DIAGRAMMATIC AND INDICATE THE GENERAL ARRANGEMENT OF SYSTEMS AND WORK INCLUDED IN THE CONTRACT. DO NOT SCALE THE DRAWINGS. DESIGNER TO VERIFY EXACT LOCATION OF FIXTURES AND EQUIPMENT.
- WORK UNDER EACH SECTION SHALL CLOSELY FOLLOW DRAWINGS IN LAYOUT OF WORK AND CHECK DRAWINGS OF OTHER DIVISIONS TO VERIFY SPACES IN WHICH WORK WILL BE INSTALLED.
- CONTRACTOR TO VERIFY ADEQUATE CAPACITIES OF HOT WATER HEATER, EXHAUST FANS AND ALL MEP EQUIPMENT.
- DESIGNER MAY MAKE REASONABLE MODIFICATIONS IN THE LAYOUT AS NEEDED TO PREVENT CONFLICT WITH WORK OF OTHER TRADES OR FOR PROPER EXECUTION OF THE WORK.
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 - ANSI A40.8 - NATIONAL PLUMBING CODES
 - ANSI C 1 - NATIONAL ELECTRIC CODE (NFPA 70)
 - ANSI C80 - ROTATING ELECTRICAL MACHINERY
 - ANSI C81.1 - CONSTRUCTION AND GUIDE FOR SELECTION, INSTALLATION F
 - ANSI C82.1 - MOTORS AND GENERATORS (NEMA MG 1)
 STATE AND LOCAL CODES SHALL APPLY AS LISTED ON COVER SHEET.

GENERAL NOTES

- VERIFY EXACT LOCATIONS, ELEVATIONS AND CHARACTERISTICS OF UTILITIES AND PIPING BEFORE COMMENCEMENT OF WORK, AND IMMEDIATELY NOTIFY PROJECT MANAGER OF ANY DISCREPANCIES.
- CONTRACTOR SHALL MAKE ALL ARRANGEMENTS WITH UTILITY COMPANIES FOR SERVICE AND CONNECTIONS. CITY SHALL PAY FOR ALL PERMITS, FEES, CHARGES AND METERS, IF APPLICABLE. CONTRACTOR TO REUSE EXISTING CAPPED SERVICES FROM OLD RESTROOM BUILDING PREVIOUSLY DEMOLISHED BY THE CITY OF NORMAN.
- TERMINATE ALL VENT AND FLUE OUTLETS AT 10'-0" MINIMUM FOR ANY FRESH AIR INTAKES
- INSTALL ALL PLUMBING TO AVOID INTERFERENCE WITH ELECTRICAL AND MECHANICAL EQUIPMENT AND STRUCTURAL FRAMING. NO WATER OR DRAIN LINES PERMITTED OVER ELECTRICAL PANELS. INSURE THAT ALL WATER LINES INSIDE AND ADEQUATELY SECURED.
- PROVIDE FAUCETS UNLESS OTHERWISE NOTED, TRAPS, STOPS, GATE VALVE, GAS COCKS, WATER HAMMER ARRESTORS, WALK THE NOTES, COVERS, FLEX CONNECTIONS, SHUT OFF VALVES AND INDIRECT WASTE TO AN APPROVED RECEPTOR AND ALL NECESSARY TRIM FOR COMPLETELY INSTALLED AND CONNECTED PLUMBING SYSTEM
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- ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL LOCAL FEDERAL CODES, RULES AND REGULATIONS GOVERNING THIS PROJECT.
- UPON COMPLETION OF JOB, INSPECT ALL EXPOSED PORTIONS OF THE PLUMBING INSTALLATIONS AND COMPLETELY REMOVE ALL EXPOSED LABELS, SOIL, MARKINGS AND FOREIGN MATERIAL EXCEPT PRODUCT LABELS AND THOSE REQUIRED BY LAW
- PLUMBING CONTRACTOR SHALL VERIFY INSTALLATION REQUIREMENTS FOR FLOOR DRAINS. THE GOVERNING AUTHORITY HAVING JURISDICTION MAY REQUIRE THE FOLLOWING: FLOOR DRAINS MAY NEED TO BE RECESSED WITH THE FLOOR SLOPED TO THE DRAIN. THE PLUMBING CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THIS INFORMATION AND INSTALLING THESE ITEMS AS REQUIRED BY CODE.
- CONTRACTOR TO PROVIDE AND INSTALL GCLAMPING RINGS AND COLLARS FOR ALL FLOOR DRAINS, FLOOR CLEANOUTS, AND ANY OTHER PLUMBING FLOOR PENETRATIONS. MAKE WATER TIGHT CONNECTION WITH WATERPROOFING MEMBRANE
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Project:

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Issue Date:
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Revisions:

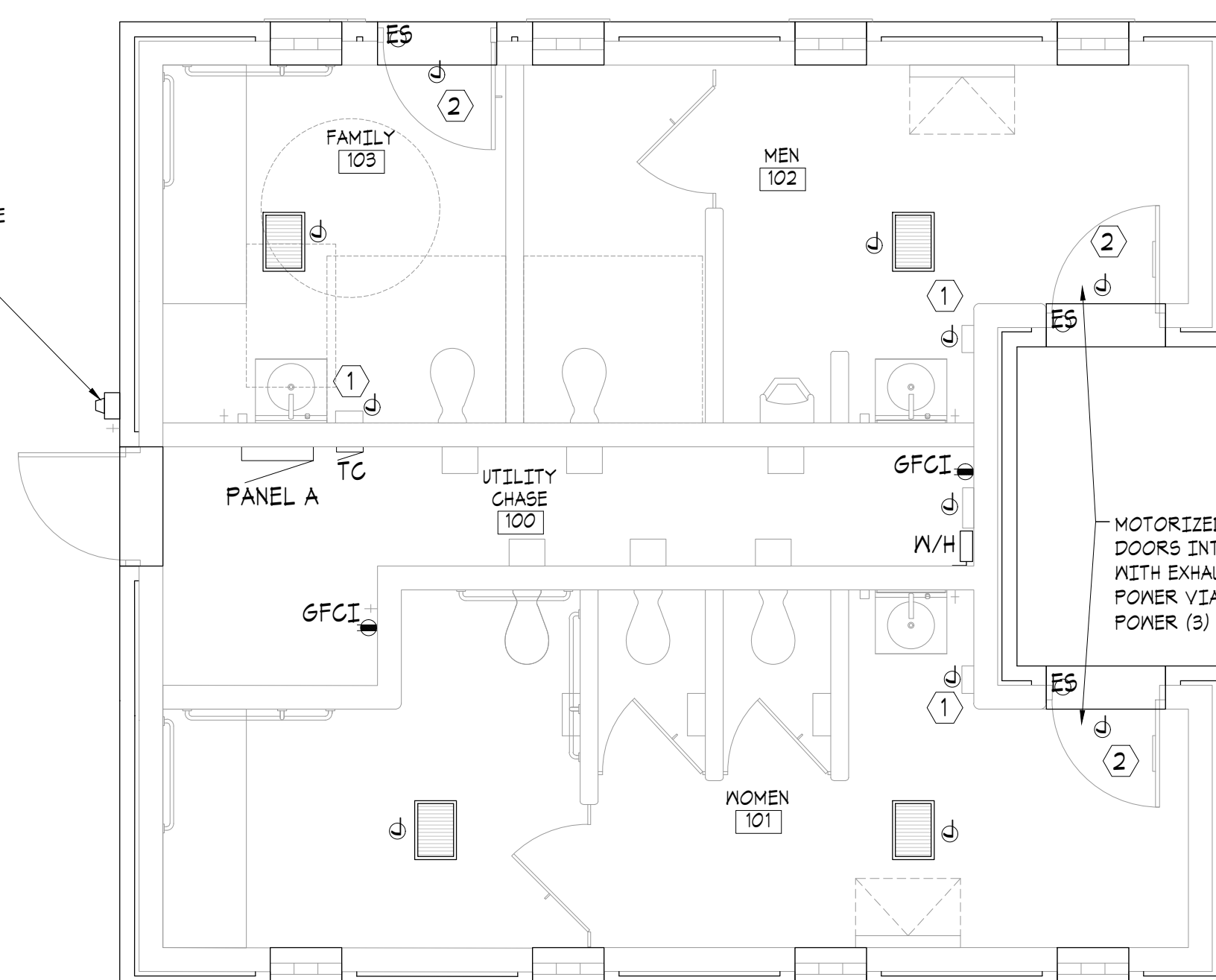
Project Number:
CM094323

Sheet Title:
ELECTRICAL LIGHTING PLAN
POWER PLAN

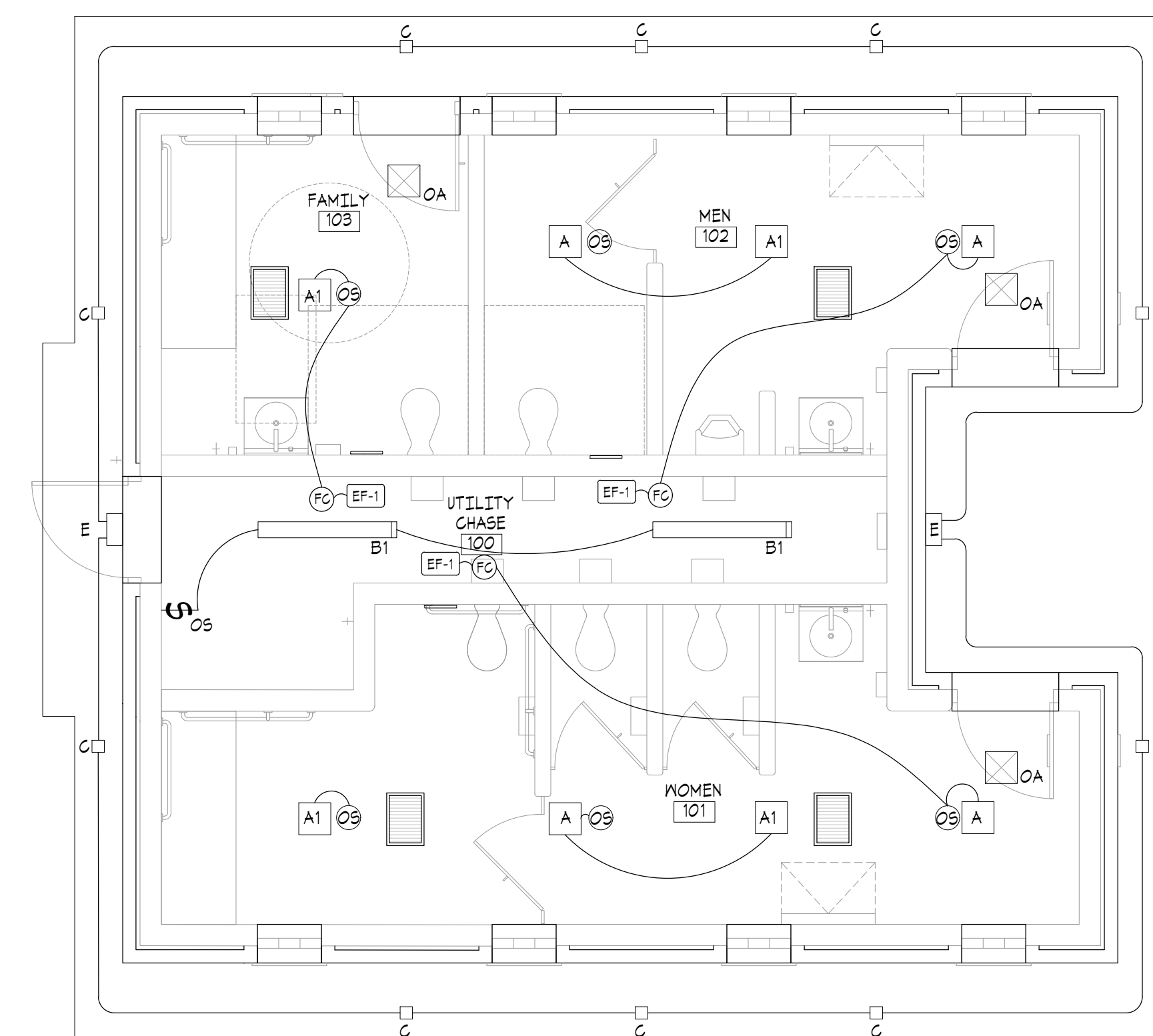
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NEW METER LOCATION. INSTALL PER LOCAL UTILITY REQUIREMENTS. COORDINATE SERVICE LOCATION WITH UTILITY IN FIELD. ENSURE SERVICE WIRE SIZING BASED ON VOLTAGE DROP/DISTANCE TO SERVICE POINT.



02 ELECTRICAL POWER PLAN
SCALE: 1/4" = 1'-0"



01 ELECTRICAL LIGHTING PLAN
SCALE: 1/4" = 1'-0"

GRILLE, REGISTER & DIFFUSER SCHEDULE							
MARK	SYMBOL	MANUFACTURER	MODEL	NECK VELOCITY FPM (MAX)	DEVICE SIZE	MOUNTING	TYPE
EX-1 300	—	TITUS	350F	500	12X12	SURFACE	EXHAUST
OA-1 300	☐	TITUS	350F	500	12X12	SURFACE	OUTDOOR AIR

NOTES:
1. COLOR TO BE APPROVED BY OWNER/ARCHITECT. SUBMIT FINISHES FOR APPROVAL - BASIS OF DESIGN: MILL FINISH

EXHAUST FAN SCHEDULE								
	GPM	SP * H.C.	RPM	DRIVE	WATTS	VOLTAGE PH/Hz.	MANUFACTURER MODEL NO.	NOTES
EF-1	450 MAX	0.4'	2,618	DIRECT	116	120/1/60	FANTECH F68, STANDARD ALUMINUM COLOR	1,2,3

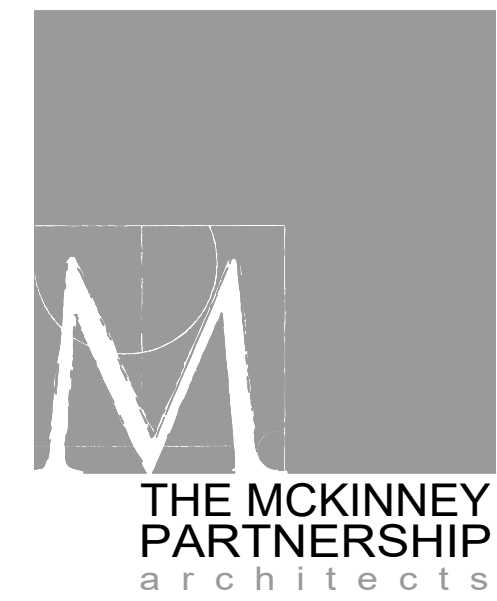
NOTES:
1. FANS SHALL BE DUCT MOUNTED PER MANUFACTURER.
2. FAN SHALL BE CONTROLLED BY THE TOILET ROOM OCCUPANCY SENSOR VIA REMOTE MOUNTED NC15 SPEED CONTROL IN CHASE ROOM.
3. FAN SHALL BE PROVIDED WITH LOW LEAKAGE BACKDRAFT DAMPER.

ELECTRIC HEAVY DUTY FORCED HEATERS				
MARK	MANUFACTURER	MODEL	WALL BOX	POWER
CH-1	TRICORP RAYNALL	H338TD-RPT	3380	4.8KW 240V 1Ø 20 AMP
WH-2	MARKEL SURFACE MOUNTED	H3423T	3420	5KW 240V 1Ø 20.8 AMP

NOTES:
1. MOUNTED 1'-0" AFF

INTAKE ROOF VENTS
RG10P - BLACK 10' DUCT

- MEP DESIGN-BUILD NOTES**
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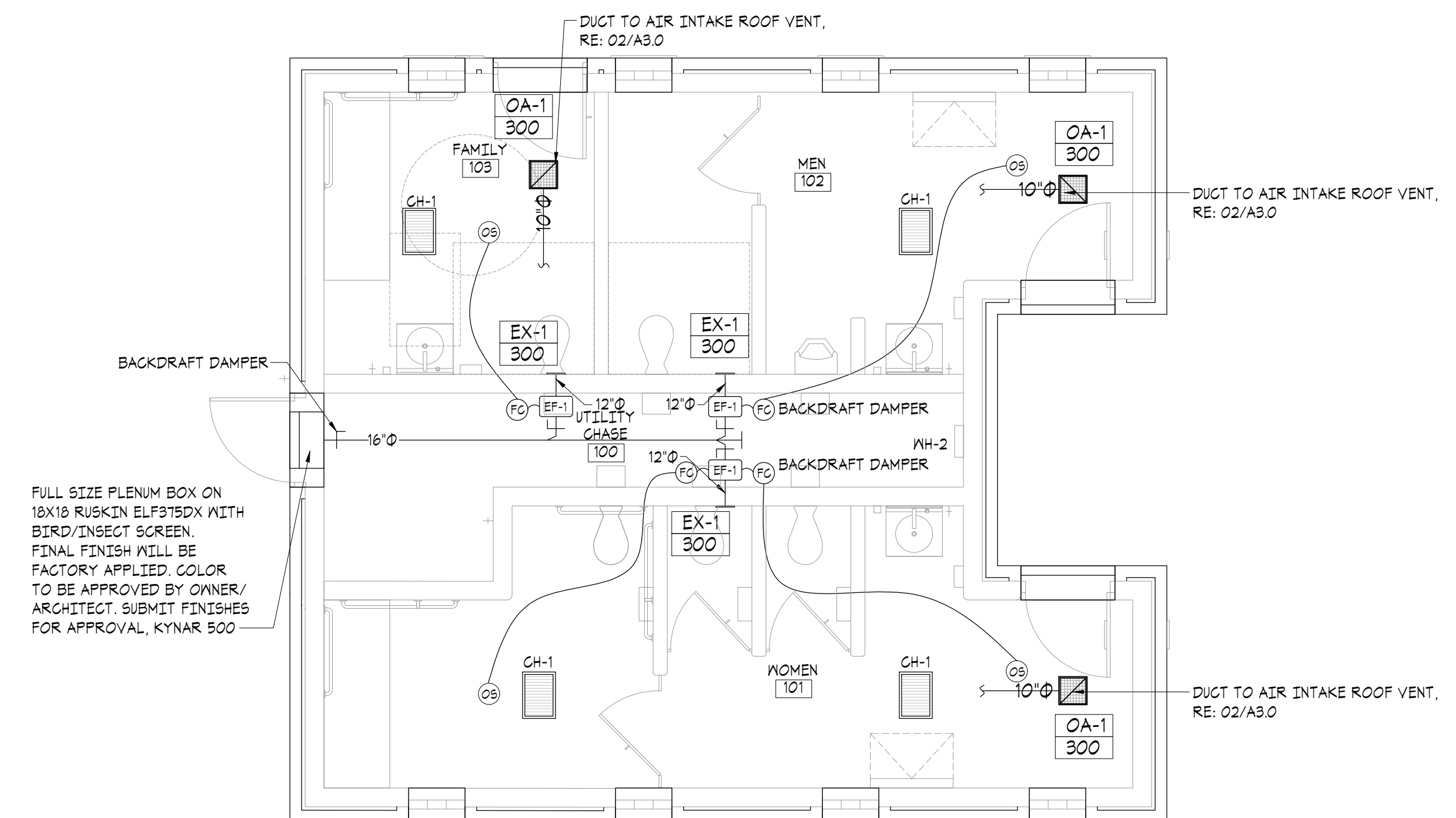
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HVAC PLAN AND SCHEDULES

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PLUMBING FIXTURE SCHEDULE

MARK	FIXTURE	WASTE	VENT	CV	HW	DESCRIPTION/REMARKS
HWC	ACCESSIBLE WATER CLOSET	3"				ACORN PENAL-WARE 1680 SERIES SIPHON JET TOILET, OFF FLOOR, MODEL 168-N-1-128-FVBO-PFS-ADA, INCLUDED MOUNTING HARDWARE FOR 8" BLOCK WALL, PUNCHED FOR SEAT, BRADLEY 545-2308 ELONGATED OPEN FRONT BLACK SEAT, HANDICAP HEIGHT, TOP OF SEAT AT 15-1/2" AFF, CONCEALED INSTALLATION OF SLOAN REGAL 152 ESS 1.6 GPM 1.6 GPF, ROUGH BRASS FINISH, SINGLE FLUSH, 2-10.75 L DIMENSION, ELECTRICAL OVERRIDE, HARDWIRED, SENSOR-OPERATED, PROVIDE ALL NECESSARY INSTALLATION COMPONENTS PER MANUFACTURERS INSTALLATION GUIDE/LOCAL, STATE AND FEDERAL CODES.
WC	WATER CLOSET					ACORN PENAL-WARE 1680 SERIES SIPHON JET TOILET, OFF FLOOR, MODEL 168-N-1-128-FVBO-PFS, INCLUDED MOUNTING HARDWARE FOR 8" BLOCK WALL, PUNCHED FOR SEAT, BRADLEY 545-2308 ELONGATED OPEN FRONT BLACK SEAT, STANDARD HEIGHT, TOP OF SEAT AT 17-1/2" AFF, CONCEALED INSTALLATION OF SLOAN REGAL 152 ESS 1.6 GPM 1.6 GPF, ROUGH BRASS FINISH, SINGLE FLUSH, 2-10.75 L DIMENSION, ELECTRICAL OVERRIDE, HARDWIRED, SENSOR-OPERATED, PROVIDE ALL NECESSARY INSTALLATION COMPONENTS PER MANUFACTURERS INSTALLATION GUIDE/LOCAL, STATE AND FEDERAL CODES.
LAV	LAVATORY WALL HUNG					ACORN MERIDIAN 3111 18" LAVATORY WITH ROUND BOWL, ADA COMPLIANT, CONCRTE BLOCK MOUNTING, MODEL PROVIDE ALL NECESSARY INSTALLATION COMPONENTS PER MANUFACTURER INSTALLATION GUIDE/LOCAL, STATE AND FEDERAL CODES. CHICAGO FAUCET W/IF FAUCETS 33-668P8HVAABOP, DECK-MOUNTED METERING SINK FAUCET, SINGLE HOLE, SINGLE SUPPLY.
FD	FLOOR DRAIN					JOSAM 30003-A-55 CAST IRON DRAIN WITH SATIN NIKOLAY STRAINER, CAST IRON FLASHING COLLAR, INSTALL DEEP SEAL TRAP.
UR	URINAL					PENAL-WARE 1708U ADA COMPLIANT HIGH EFFICIENCY URINAL, CONCRETE BLOCK MOUNTING, MODEL TOSHU-WH-10-S-FVBO-SH, CONCEALED INSTALLATION OF ROYAL 140 ES ROYAL CONCEALED SOLENOID URINAL FLUSHMETER, PROVIDE ALL NECESSARY INSTALLATION COMPONENTS PER MANUFACTURER INSTALLATION GUIDE/LOCAL, STATE AND FEDERAL CODES.
WCO	WALL CLEANOUT					ZURN 1445, FURNISH W/POLISHED BRONZE, SQUARE ACCESS COVER AND FRAME
FCO	FLOOR CLEANOUT					ZURN Z1400-SZ LEVEL-TROL/SQUARE ADJUSTABLE LEVELING FLOOR CLEANOUT ADJUSTABLE HOUSING, NICKEL BRONZE TOP.
TP	TRAP PRIMER					PRECISION PLUMBING PRODUCTS TRAP PRIMER, BRONZE CONSTRUCTION WITH VACUUM PORTS, ADJUSTABLE WITH 1/2" COPPER TYPE L TO RECEPTOR
WHA	WATER HAMMER ARRESTOR					JR SMITH SERIES HYDROTROL, STAINLESS STEEL CONSTRUCTION
H/H	INSTA-HOT ELECTRIC					STEIBEL ELTRON INSTA-HOT DHC-E 3/10, 240 VOLT SINGLE PHASE 2 POLE, 1.2KW, 30 AMP LOAD ON 40 AMP BREAKER (HGR) 48" RISE AT 10 GPM FLOW, INSTALL MATTS LP656-B TEMPERING VALVE TO ENSURE MAXIMUM TEMPERATURE OF 109°F AT FAUCET
FWH	FREEZELESS WALL HYDRANT					WOODFORD ANTI-SIPHON FREEZELESS WALL HYDRANT MODEL B-65, VACUUM BREAKER, ANTI-SIPHON, FLUSH MOUNT WALL BOX WITH DOR, BRONZE

KEY NOTES

- ① 1/2" HOT AND COLD WATER DOWN TO FIXTURE, INSTALL WATER HAMMER ARRESTOR ON TOP OF FEED DOWN.
- ② 1" COLD WATER DOWN TO FIXTURE, INSTALL WATER HAMMER ARRESTOR ON TOP OF FEED DOWN.
- ③ NEW 1" WATER SERVICE UP ON WALL, INSTALL SHUT-OFF AND RPZ BACKFLOW IN VERTICAL AT 48" AFF, CLEARLY LABEL AS "MAIN WATER SHUT OFF".
- ④ 3/4" CW DOWN TO WALL HYDRANT WITH 1/2" CW TO INSTA-HOT.
- ⑤ MATTS LP656-B THERMOSTATIC MIXING VALVE SET TO 109°F BEHINDHAND SINK IN SERVICE CHASE.
- ⑥ 1/2" HW FROM INSTA-HOT TO EACH LAV.
- ⑦ 3/4" CW DOWN TO WALL HYDRANT, INSTALL WATER HAMMER ARRESTOR ON TOP OF FEED DOWN.
- ⑧ CONNECT TO EXISTING UNDERGROUND 1" WATER SERVICE FROM CITY/PUBLIC WORKS, VERIFY IN FIELD EXACT LOCATION.

PLUMBING LEGEND

—HW—	DOMESTIC HOT WATER
—CW—	DOMESTIC COLD WATER
—SS—	SANITARY SEWER
—o—	RISER DOWN (ELBOW)
—o—	RISER UP (ELBOW)
—o—	TEE DOWN
— — —	BACKFLOW PREVENTER
— — —	CHECK VALVE
□FD	FLOOR DRAIN
□FCO	FLOOR CLEANOUT

MEP DESIGN-BUILD NOTES

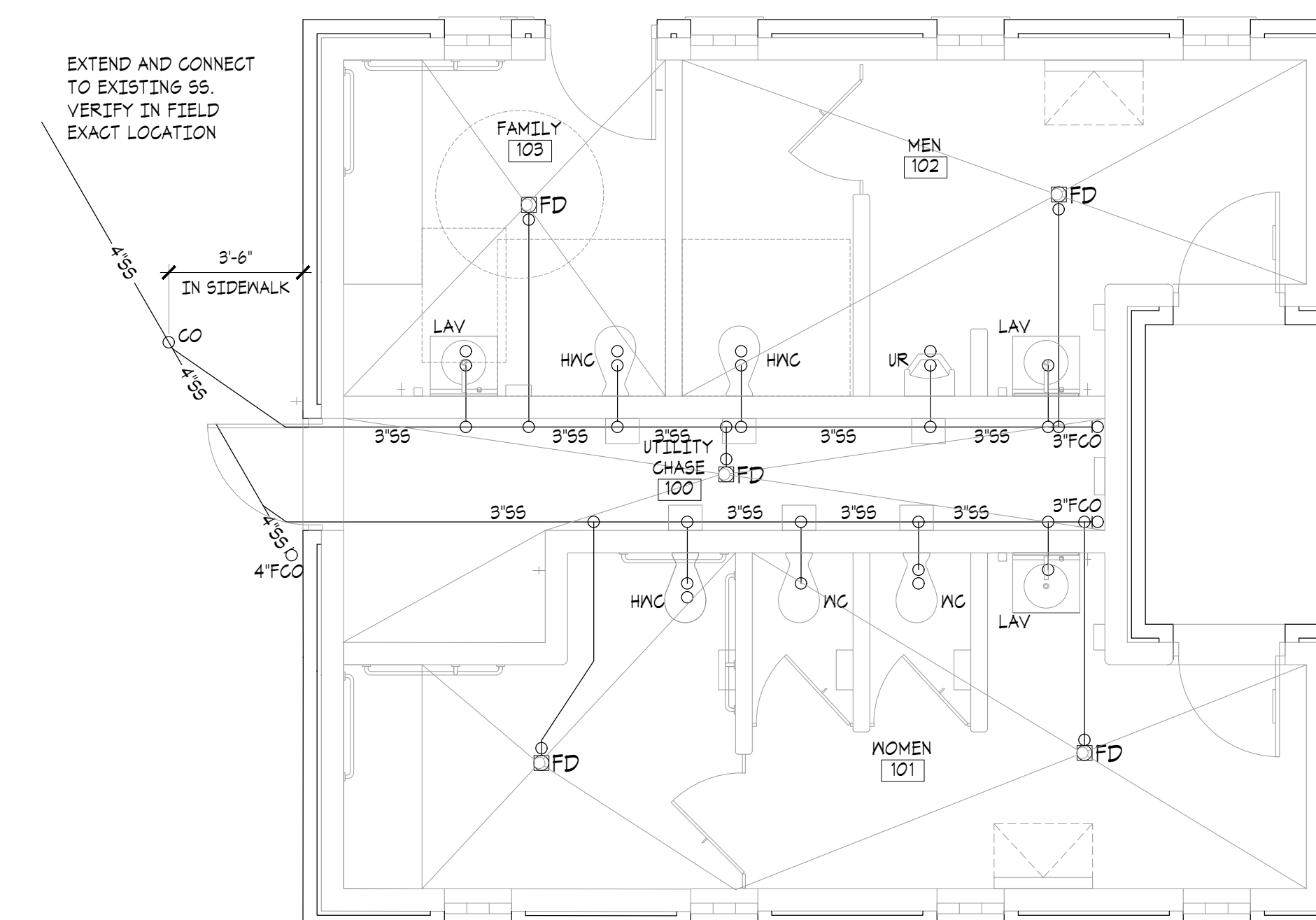
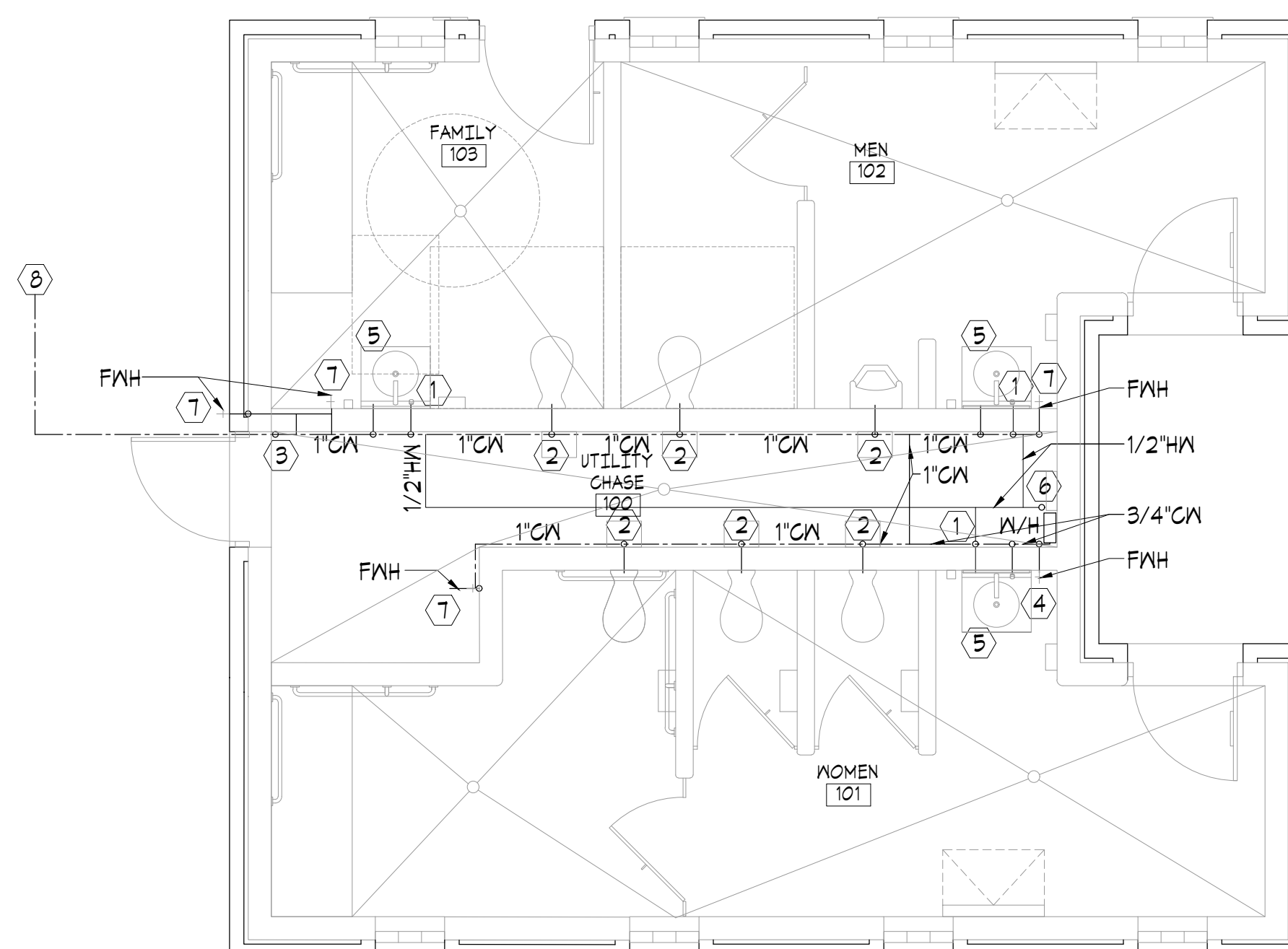
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 - E. ANSIC61.1 - CONSTRUCTION AND GUIDE FOR SELECTION, INSTALLATION F
 - F. ANSI C82.1 - MOTORS AND GENERATORS (NEMA MG 1)
 STATE AND LOCAL CODES SHALL APPLY AS LISTED ON COVER SHEET.

GENERAL COMMENTS

1. NEW WORK, ALTERATIONS OR ADDITIONS TO MECHANICAL AND PLUMBING SYSTEMS ARE SUBJECT TO FIELD INSPECTION
2. ALL PLUMBING FIXTURES IN NEW CONSTRUCTION SHALL MEET THE FLOW AND PRESSURE REQUIREMENTS IPC TABLES 604.3 & 604.4.
3. PROVIDE CLEAN OUTS IN WASTE PIPING PER IPC 108 AND DBCA/IPC 108.1.3 AND 108.1.4.
4. VENT TERMINATION SHALL COMPLY TO SIZE AND LOCATION REQUIREMENTS OF IPC 903, DBCA/IPC 903.1, AND IPC 904
5. PROVIDE BACKFLOW ASSEMBLIES PER IPC 608.1 AND DBCA/IPC 608.1.1.
6. DIRECT WASTE PIPING SHALL CONFORM TO IPC CHAPTER 8.
7. PROTECT ALL PIPES FROM FREEZING, IFC 305.4.

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12. FLOOR DRAINS TO BE RECESSED AND FLOOR SLOPED TO DRAINS.



02 DOMESTIC WATER PLAN
SCALE: 1/4" = 1'-0"

01 SANITARY SEWER PLAN
SCALE: 1/4" = 1'-0"



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SANITARY SEWER PLAN
DOMESTIC WATER PLAN

Sheet Number:

P1.0

DIVISION 8 - DOORS, WINDOWS AND GLASS (CONTINUED)

Windows:	See Glass Block - previous page SP10.
Window Grilles: Screen Material & Frame:	
Fixed Glazing:	
Sloped Glazing:	
Mirrors:	Stainless steel reflective surface, Re: A0.1 Toilet Accessories schedule. Submit product information for owner/architect approval.

DIVISION 9 - FINISHES

Refer to Room Finish Schedule Drywall:	5/8" waterproof gypsum wallboard at ceilings - screw application.
Plaster:	
Interior Painting Grade & Type:	Re: Finish Schedule A5.0 - Color TBD Semi-gloss paint at ceiling - First Quality.
Wood Trim: Walls:	semi-gloss paint 1 coat block filler, 2 coats epoxy paint per manufacturer recommendations - in restrooms
Ceilings:	Prime and paint 2 coats acrylic semi-gloss.
Miscellaneous:	mech area - block filler & 2 coats cmu paint
Exterior Painting and Coatings Grade & Type:	Re: Finish Schedule A5.0 - Color TBD Semi-gloss paint at metals.
Wood:	Semi-transparent stain as manufactured by Cabot or equal on all exposed exterior wood - 2 coats.
Masonry:	N/A
Misc. Metals:	Prime and paint 2 coats alkyl enamel.
Galv. Metal:	Prime and paint 2 coats alkyl enamel.
Stucco Plaster:	3 - coat cement plaster over exposed CMU, undulating palm finish. EIFS will not be accepted.
Concrete Flooring:	Hard steel trowel finish, w/penetrating sealer, Re: Finish Sched. A5.0 - Clear.
Glass Block Mortar:	As recommended by mfr. silicone sealant. - submit color chart. Submit product information for owner/architect approval.

DIVISION 10 - SPECIALTIES

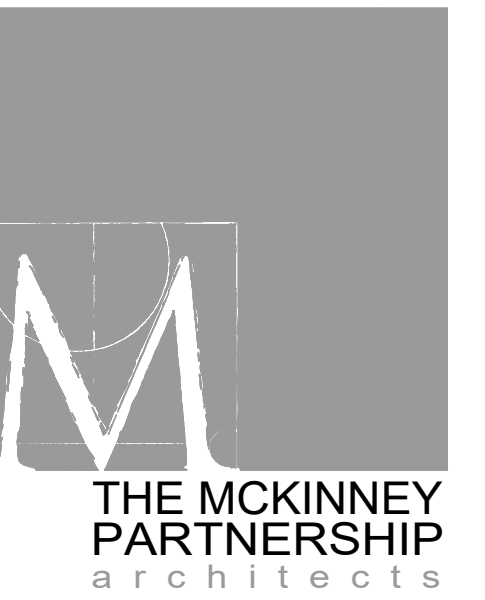
Restroom Accessories:	Re: A0.1 Toilet Accessories schedule. Submit product information for owner/architect approval.
Miscellaneous:	Re: A0.1 Toilet Accessories schedule.
Partitions:	Re: A5.0 Finish Notes and Finish schedule. Submit product information and partition samples for owner/architect approval.

DIVISION 15 - MECHANICAL

Plumbing	Submit product cutsheets for owner/architect approval
Water Supply:	Existing water supply by Owner - locate and repair as required prior to connection.
Piping Materials: Exterior Soil Line: Interior Soil Line: Waste Line:	Re: Plumbing drawings. PVC PVC
Water:	
Footing Drains: Gas Line: Interior Downspouts:	N/A N/A
Miscellaneous Piping:	
Sound Insulation:	
Hose Bib:	Hose bib beneath each sink/vandal-proof & chase space Hose bib at Northwest Exterior wall.
Frost-Proof Sill Cocks:	Encased, Non-Freeze, Anti-Siphon, Automatic Draining
Interior Valve Shut-Off:	In plumbing chase.
Domestic Water Heating: Make & Model: Capacity:	One instant-hot, Re: P10 to serve Men's and Women's and Family
Sanitary Sewer-System:	Connect to existing sanitary sewer line w/ new clean out.
Heating and Cooling: Type of System:	In-ceiling electric heaters - recessed in gypsum wall board (4) Wall mount electric heaters - located in Chase (1)
Equipment: Furnace: Condenser: Heat Pump: Fan Unit: Humidifier: Controls:	Re: M1.0, motorized dampers @ entry and exit. Re: M1.0, controlled by occupancy sensors.
Miscellaneous:	
Ductwork:	Re: M1.0.
Duct Insulation: Registers/Grilles: Floor: Ceiling: Toe Space: Return Air:	Ventilation supply duct insulate R-8 or equiv. to local codes. Re: M1.0. Prefinished - Mill Finish
Exhaust Fan(s): Toilets:	Re: M1.0.

DIVISION 16 - ELECTRICAL

Service:	Determined by subcontractor. Design/Build
Panel:	Locking. All empty conduits route to this. Locate as shown on plan 01/E1.0.
Wiring:	
Special Outlets & Wiring: Appliances: Intercom: Security:	Provide GFCI outlet in utility chase. Provide electric strike to restroom doors. Refer to Door Hardware Schedule on Sheet A3.0 for specification and locations.
Fire: Stereo/Speakers Telephone: Computer:	
Exterior lighting:	On by photocell, off by timeclock.
Water Well Pump: Miscellaneous:	
Boxes:	Re: E1.0.
Switches:	Motion activated fan and lights, delayed timer off.
Low Voltage Power:	Electric strikes for access control at restroom doors to be provided by the Contractor.
Lighting Fixtures:	Re: A3.0 and E1.0.
Bath Exhaust Fan(s):	Re: M1.0.
Miscellaneous Electrical:	Provide NFP receptacle boxes as shown on plan for receptacles. Route all conduit adjacent to trusses & beams. Conceal where possible. Paint to match adjacent wood color. Submit product cutsheets for owner/architect approval



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