Abbreviations METER(S) MASONRY ABOVE AIR CONDITIONING MATERIAL(S) A/C ACOUS ACT MAX MBR MECH MEMB MFG MH ACOUSTICAL ACOUSTICAL TILE MAXIMUM MEMBER ADD ADJ AFF MECHANIC(AL) ADDENDUM ADJACENT, ADJUSTABLE MEMBRANE ABOVE FINISH FLOOR MANUFACTURE(ER) ALTERNATE MAN HOLE MIN MIR MISC MM MINIMUM MIRROR ALUMINUM ANOD ARCH ARCHITECT(URAL) MISCELLANEOUS MILLIMETER(S) BOARD BLDG BLKG MASONRY OPENING BLOCKING MODULAR METAL FURRING BOTTOM BRG PL BSMT BUR BEARING PLATE BUILT UP ROOFING NOT APPLICABLE NUMBER NOMINAL CORNER GUARD NOISE REDUCTION CUBIC FOOT CAST IRON NOT TO SCALE CAST IN PLACE CONTROL JOINT OVERALL CEILING CLOSET ON CENTER OUTSIDE DIAMETER CLEAR (ANCE) OVERHEAD, OPPOSITE HAND CENTIMETER(S) PARTITION PARTICLE BOARD CORRUGATED METAL PIPE PART BD PERF PERM CMU CNT CNTR CONCRETE MASONRY UNIT PERFORATE(D) CONTAINER PERIMETER PHASE COUNTER COL CONC CONST CONT CORR CPT COLUMN POCKET PLATE CONCRETE CONSTRUCTION PL PLAS P-LAM PLASTER CONTINUOUS PLASTIC LAMINATE CORRUGATED PANEL PAPER TOWEL CASEMENT PR PRCST CERAMIC TILE PAIR PRE-CAST CENTER POUNDS/SQUARE FOOT POUNDS/SQUARE INCH POINT CUBIC YARD COLD WATER POLYVINYL CHLORIDE PAVEMENT DEEP, DEPTH DOUBLE DEMOLITION PLYMOOD DRINKING FOUNTAIN QUARRY TILE DIA DIAG DIM DISP DIAGONAL RADIUS, RISE(R) DIMENSION DISPENSER REFLECTED CEILING DIVISION DEAD LOAD ROOF DRAIN RECESS(ED) DOOR DOWN SPOUT REFRIGERATOR DETAIL DRAWING REINFORCE(D)(ING) REQUIRED REVISION EXPANSION JOINT ELECTRIC(AL) RIGHT HAND ELEVATION, ELEVATOR EMERGENCY ROUGH OPENING ENGINEER EQUAL EQUIPMENT ROD & SHELF SUPPLY AIR SOLID CORE ELECTRIC WATER COOLER EXISTING EXPANSION SOAP DISPENSER EXTERIOR SIM SL GLS SND FLOOR DRAIN SLIDING GLASS FIRE EXTINGUISHER SANTTARY NAPKTN DISPENSER FIRE HOSE CABINET SANITARY NAPKIN RECEPTACLE SPEAKER FOUNDATION FOOT STAINLESS STEEL, SANITARY FURR(G) FURRED(ING) STANDARD FINISHED FLOOR STEEL STORAGE STRUCTURE(AL) GAGE, GAUGE SUSPENDED SURFACE GALLON GALVANIZED GRAB BAR GENERAL TREAD GALVANIZED IRON TOWEL BAR TOWEL DISPENSER TOWEL DISPENSER/DISPOSAL GLS GLS BL GLASS, GLAZING GLASS BLOCK GYPSUM WALL BOARD TELEPHONE GYPSUM TEMPER(ED) TONGUE & GROOVE THICK(NESS) TOILET PAPER DISPENSER HOSE BIB HOLLOW CORE, HANDICAP HEAVY DUTY TELEVISION HDR HDW HD WD HEADER TYPICAL TOP & BOTTOM HARDWARE HARDWOOD UNLESS OTHERWISE NOTED HOLLOW METAL HORIZ HORIZONTAL HOUR HEIGHT HEATING VINYL BASE HTG VERTICAL VINYL COMPOSITE TILE HVAC HEATING/VENTILATING AIR CONDITIONING HOT WATER MATER CLOSET INSIDE DIAMETER INCANDESCENT MATER HEATER INCLUDE(D) INFORMATION MROUGHT IRON WATERPROOFING INSULATION INTERIOR WELDED WIRE FABRIC TRANSFORMER KITCHEN LABORATORY NUMBER LAMINATE LAVATORY CENTER LINE PROPERTY LINE LIVE LOAD LIGHT LIGHTWEIGHT BUILDING LINE

Code Revie	\A/
Code Nevie	VV
LOCAL MUNICIPALITY:	CITY OF NORMAN, CLEVELAND COUNTY, OKLAHOMA
APPLICABLE BUILDING CODE:	2018 INTERNATIONAL BUILDING CODE (IBC)
PLUMBING CODE:	2018 INTERNATIONAL PLUMBING CODE (IPC)
ELECTRICAL CODE:	2020 NEC (NFPA 70) & Local Amendments
MECHANICAL CODE:	2018 INTERNATIONAL MECHANICAL CODE (IMC)
HDCP CODE:	ICC A117.1 - 2009
FIRE CODE:	2018 INTERNATIONAL FIRE CODE (IFC)
ENERGY CODE:	2006 INTERNATIONAL ENERGY CODE (IECC)
EXISTING ZONING:	PL
OCCUPANCY TYPE:	U
CONSTRUCTION TYPE:	5B
PARKING REQUIRED / PROVIDED:	EXISTING
FIRE SPRINKLER:	NON-SPRINKLERED
BUILDING HEIGHT:	15'-5 1/8"
ALLOWABLE HEIGHT (PER 504.3):	40'-0"
NUMBER OF STORIES:	1
ALLOMABLE STORIES (PER 504.4):	1
BUILDING AREA (PER 202):	779 SF
ALLOWABLE AREA (PER 506.2):	5,500 SF
INSULATION REQUIREMENTS:	ABOVE CLG. @ ROOFLINE - R-15ci MIN. POURABLE CORE-FILL INSULATION AT ALL PERIMETER CMU WALLS MAX. THERMAL CONDUCTIVITY 0.44 Btu-in./h-f2F
OCCUPANT LOAD:	N/A
BABY CHANGING TABLES:	ONE CHANGING TABLE REQ'D IN EA. RESTROOM PER CITY OF NORMAN ORDINANCES

Materials Legend WOOD FRAMING - CONTINUOUS EARTH MOOD BLOCKING 0.00 PLASTER / STUCCO CONCRETE SUSPENDED ACOUSTIC CEILING RIGID INSULATION CONCRETE MASONRY UNIT BATT INSULATION ASPHALTIC PAVING PLYMOOD CANADA A GARAGA GYPSUM WALL BOARD 1127 S. 20 13 124 12 5 5 5

Symbols Legend

PROPERTY LINE

CENTER LINE

WALL SECTION

REFERENCE

REFERENCE

DOOR NUMBER

- WINDOW NUMBER

- WALL PARTITION TYPE

- INTERIOR ELEVATION

ELEVATION - AFF (ABOVE FINISHED FLOOR)

SHEET NUMBER

NUMBER SHEET NUMBER

ROOM NAME ROOM NAME

[100] 🚤

X/AX.X

XXX ROOM NUMBER

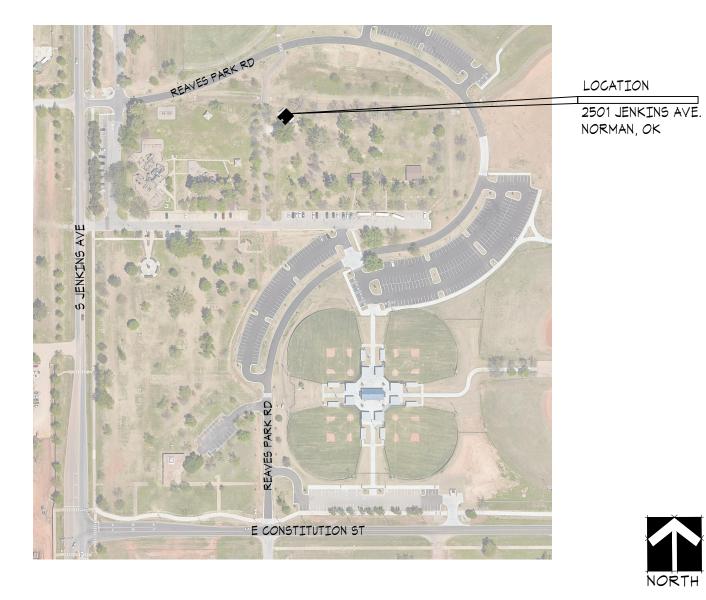
General Notes

- ALL CONSTRUCTION SHALL MEET ALL APPLICABLE NATIONAL, STATE AND LOCAL BUILDING
- CODES, LATEST EDITIONS DO NOT SCALE OFF PLANS.
- ALL CONTRACTORS SHALL CONDUCT A THOROUGH INSPECTION OF SITE AND EXISTING CONSTRUCTION PRIOR TO SUBMITTING ESTIMATE AND/OR BID. ANY AND ALL DISCREPANCIES IN THE EXISTING WORK OR CONFLICTS WITH THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IN WRITING PRIOR TO COMMENCING WORK.
- BUILDING PERMIT SHALL BE OBTAINED BY OWNER. TRADE PERMITS SHALL BE OBTAINED AND PAID FOR BY THE CONTRACTOR.
- ANY CHANGES IN THE CONSTRUCTION FROM THE ORIGINAL PLANS AND SPECIFICATIONS SHALL BE APPROVED BY ARCHITECT, NOTED AND INITIALED IN RED PENCIL ON A SET LOCATED ON SITE. ALL MAJOR SUBCONTRACTORS SHALL ALSO DOCUMENT CHANGES IN RED PENCIL AND SUBMIT TO THE ARCHITECT AT THE COMPLETION OF THE WORK FOR PREPARATION OF AS-BUILT CONSTRUCTION PLANS.
 - ANY DISCREPANCIES OR INCONGRUITIES IN THESE CONSTRUCTION PLANS OR BETWEEN THE PLANS AND THE SPECIFICATIONS SHALL BE SUBMITTED TO THE ARCHITECT IN WRITING, PRIOR TO BID. CONTRACTOR SHALL WAIT FOR RESPONSE FROM ARCHITECT PRIOR TO COMMENCING
- WITH THAT PORTION OF THE WORK KEEP PREMISES CLEAN AT ALL TIMES OF FOREIGN MATERIAL CREATED UNDER THIS CONTRACT.
- CONTRACTOR SHALL REMOVE DEBRIS AT THE END OF EACH WORK DAY. PROVIDE TARPAULINS TO PROTECT ALL FINISHES, SURFACES AND EQUIPMENT. AREAS FOR MATERIAL STORAGE, TRASH DISPOSAL, ETC., SHALL BE PROVIDED BY CONTRACTOR AND LOCATED ON SITE AS PER INSTRUCTED BY OWNER. CONSTRUCTION AREA SHALL BE FENCED
- AND SECURED. CONTRACTORS TO PROVIDE A LOCKED STORAGE FACILITY AS NEEDED DURING CONSTRUCTION ON OR NEAR SITE FOR STORAGE OF MATERIALS, SUPPLIES AND FIXTURES IN LOCATION
- APPROVED BY OWNER. CONTRACTORS SHALL ENTER INTO A CONSTRUCTION CONTRACT, EXECUTE BONDS, SUBMIT ALL INSURANCE CERTIFICATES TO OWNER PRIOR TO COMMENCING WITH WORK. WAIVERS OF LIENS
- SUPPLIERS UPON FINAL PAYMENT. ALL DIMENSIONS MARKED "CLEAR" SHALL BE MAINTAINED AND SHALL ALLOW FOR THICKNESS OF
- ALL FINISHES INCLUDING ALL EXTERIOR FINISHS AND STONE VENEER, ETC. ALL DIMENSIONS ARE TO FACE OF FINISH MATERIAL UNLESS OTHERWISE NOTED.

MUST BE FURNISHED BY ALL CONTRACTORS, SUBCONTRACTORS AND MAJOR MATERIAL

- "ALIGN" MEANS TO ACCURATELY LOCATE FINISHED FACES IN THE SAME PLANE FOR A FINAL
- "TYPICAL" OR "TYP" SHALL MEAN THAT THE CONDITION IS REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT UNLESS OTHERWISE NOTED.
- "SIMILAR" OR "SIM." SHALL MEAN THAT COMPARABLE CHARACTERISTICS EXIST FOR THE
- CONDITIONS NOTED. VERIFY DIMENSIONS AND ORIENTATION ON PLANS AND ELEVATIONS. CAULK ALL JOINTS OR CRACKS WHICH OCCUR WHERE DISSIMILAR MATERIALS INTERSECT PERPENDICULAR TO EACH OTHER, AND THE INTERSECTION IS EXPOSED TO VIEW.

Vicinity Map



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CITY OF NORMAN PLANNING DEPARTMENT 225 N. WEBSTER AVE. NORMAN, OK 73070 PHONE: 405.366.5432

MEP Notes

Project Information

Description of Scope

CONSTRUCTION OF NEW 179 S.F. CMU/STONE RESTROOM BUILDING AND RELATED SITE/UTILITY WORK.

THE MECHANICAL, ELECTRICAL, PLUMBING AND SYSTM, SHALL BE DESIGNED-BUILD AND

SUBCONTRACTORS. THE DRAWINGS INCLUDED ARE TO OUTLINE GENERAL INTENT AND LAYOUT.

GENERAL CONTRACTOR'S MEP SUBCONTRACTORS TO PROVIDE SHOP DRAWINGS INCLUDING

INSTALLED TO MEET ALL APPLICABLE CODES BY THE GENERAL CONTRACTOR'S

LOADS AND EQUIPMENT CUTSHEETS TO OWNER AND ARCHITECT FOR REVIEW

EXTERIOR MATERIALS TO BE STONE AND CEMENT STUCCO WITH ACRYLIC FINISH SYSTEM.

THE MCKINNEY PARTNERSHIP ARCHITECTS, P.C. 3600 WEST MAIN STREET, SUITE 200 NORMAN, OK 73072 PHONE: 405.360.1400 ATTN: RICHARD S. MCKINNEY JR., AIA

mckinney@tmparch.com STEFANIE NIIMI, NCIDQ





THE MCKINNEY

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CM094323

Sheet Title: **GENERAL INFORMATION**

Sheet Number:

Sheet Index

ARCHITECTURAL

- GENERAL INFORMATION ACCESSIBLE MOUNTING SCHEDULE, ACCESSORY SCHEDULE
- FLOOR PLAN, FOUNDATION PLAN & FOOTING DETAILS REFLECTED CEILING PLAN, ROOF PLAN, FRAMING PLAN, DOOR DETAILS,
- INTERIOR ELEVATIONS
- SP2 SPECIFICATIONS

E1.0 ELECTRICAL LIGHTING AND POWER PLANS

M1.0 HVAC PLAN AND SCHEDULES

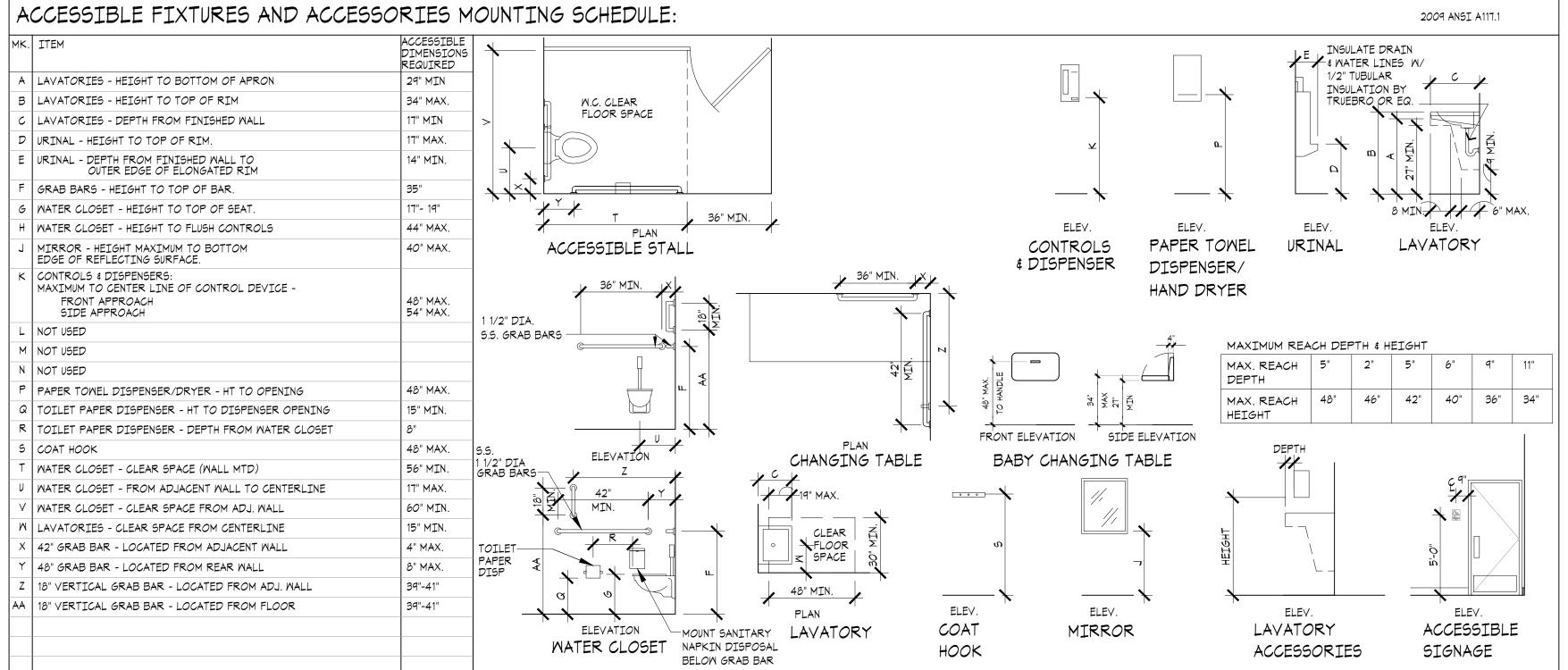
P1.0 SANITARY SEWER PLAN, DOMESTIC WATER LINE & PLUMBING DETAILS

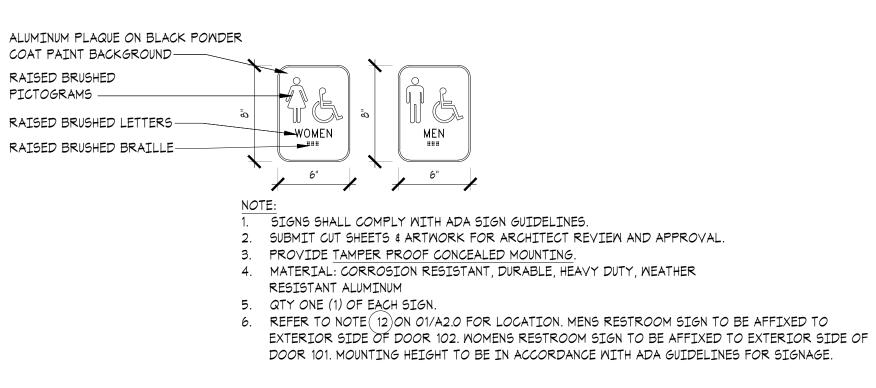
- ARCHITECTURAL SITE PLAN
- DOOR AND WINDOW SCHEDULE
- BUILDING ELEVATIONS, BUILDING SECTION, SECTION DETAILS
- SPECIFICATIONS

ACCE	SSORIES SCHEDULE:	
MARK	DESCRIPTION	MANUF./MODEL NO.
A	AIR HAND DRYER	EXCEL THIN AIR RA-SB SURFACE MOUNTED, HANDS FREE OPERATION ADA COMPLIANT 4" DEPTH, COLOR: BRUSHED STAINLESS STEEL
$\langle B \rangle$	SOAP DISPENSER	OWNER FURNISHED/CONTRACTOR INSTALLED
⟨ <u>C</u> ⟩	36" GRAB BAR	BOBRICK B-6806-36 CONCEALED ANCHORS & FASTENERS
$\langle D \rangle$	48" GRAB BAR	BOBRICK B-6806-48 CONCEALED ANCHORS & FASTENERS
(E)	18" VERTICAL GRAB BAR	BOBRICK B-6806-18 CONCEALED ANCHORS & FASTENERS
⟨ F ⟩	TOILET PAPER HOLDER	OWNER FURNISHED/CONTRACTOR INSTALLED
6	MIRROR	BOBRICK B-1556-2436, COLOR: 32D STAINLESS STEEL FINISH FRAMELESS POLISHED STAINLESS STEEL REFLECTIVE SURFACE
$\langle H \rangle$	BABY CHANGING STATION	KOALA KARE KB-200-01 GRAY
J	VANDAL RESISTANT COAT HOOK	BOBRICK B-983, SECURED FROM THE FRONT, SATIN FINISH STAINLESS STEEL

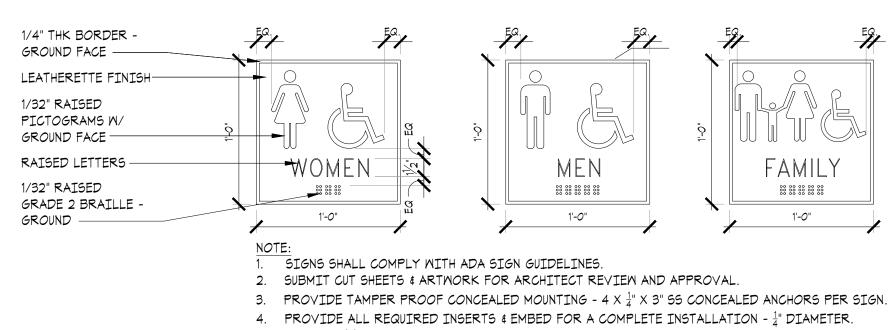
ACCESSORIES NOTES:

- REFER TO PLUMBING DRAWINGS-SHEET P1.0 FOR PLUMBING FIXTURE SPECIFICATIONS.
- . REFER TO ACCESSIBLE FIXTURES AND ACCESSORIES MOUNTING SCHEDULE ON SHEET AO.1.
- ALL CONSTRUCTION AND MOUNTING HEIGHTS SHALL COMPLY WITH ALL APPLICABLE CITY AND STATE ACCESSIBILITY REGULATIONS AS WELL AS THE FEDERAL ADA (AMERICANS WITH DISABILITY ACT) REGULATIONS. REFER QUESTIONABLE MOUNTING HEIGHTS TO THE ARCHITECT FOR FINAL DECISION. REFER SCHEDULE THIS SHEET
- 4. PROVIDE SOLID CONTINUOUS F.R. WOOD BLOCKING IN WALLS AS REQUIRED FOR ATTACHING ACCESSORIES, RAILS AND EQUIPMENT.
- . REFER TO RESTROOM INTERIOR ELEVATIONS ON INTERIOR ELEVATION SHEETS FOR LOCATION OF OTHER WALL MOUNTED ACCESSORIES.
- . PROVIDE SOLID GROUT FILL AT ALL INSERTS AND EMBEDS IN WALLS AS REQUIRED FOR ATTACHING ACCESSORIES, BARS AND EQUIPMENT.





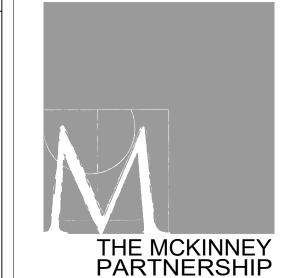
8"X6" BRAILLE ADA VANDAL RESISTANT ALUMINUM SIGNS



5. QTY ONE (1) OF EACH SIGN. 6. MOUNT SIGNS ON STONE AND BACKPACK SOLID WITH GROUT AND SEALANT. GROUT FILL EDGES TO MATCH STONE GROUT.

7. REFER TO KEY NOTE (8) ON 01/A2.0 AND EXTERIOR ELEVATIONS 03/A4.0 AND 02/A4.0 FOR LOCATIONS. MOUNTNG HEIGHT TO BE IN ACCORDANCE TO ADA GUIDELINES FOR SIGNAGE.

12"X12" CAST BRONZE SIGNS



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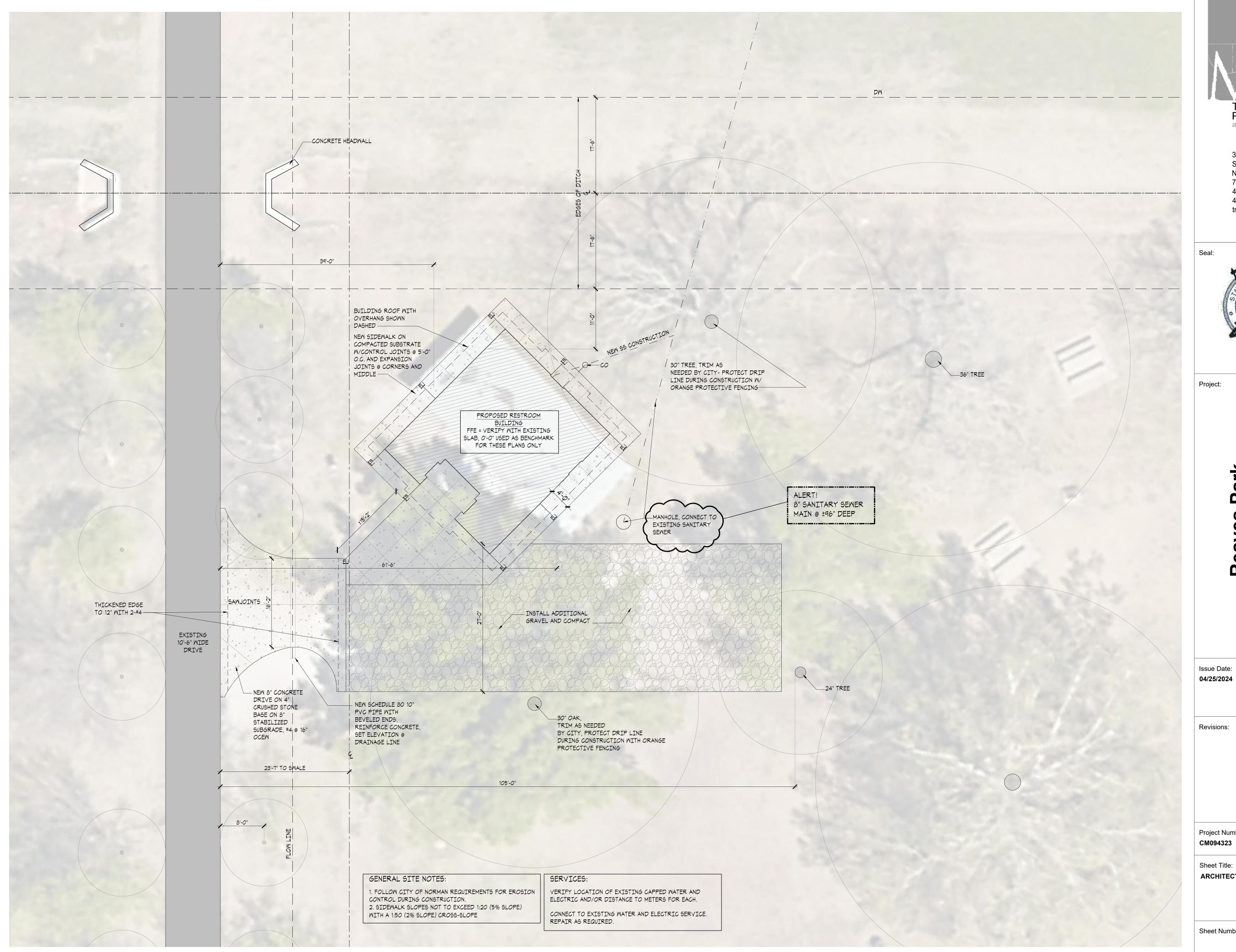
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Sheet Title: ACCESSIBLE MOUNTING SCHEDULE ACCESSORY SCHEDULE



N O1 OVERALL SITE PLAN
SCALE: 1/8" = 1'-0"



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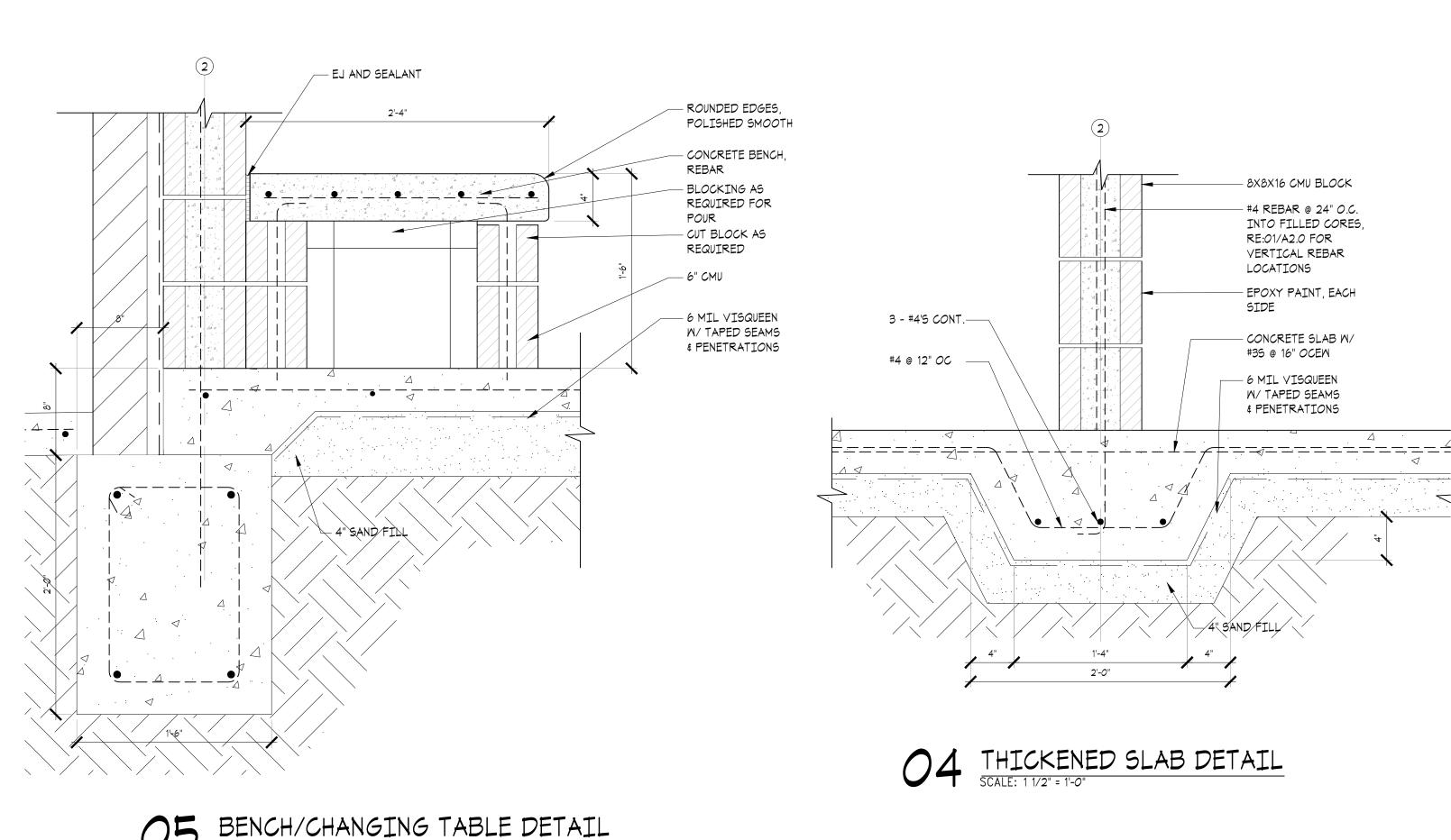
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Revisions:

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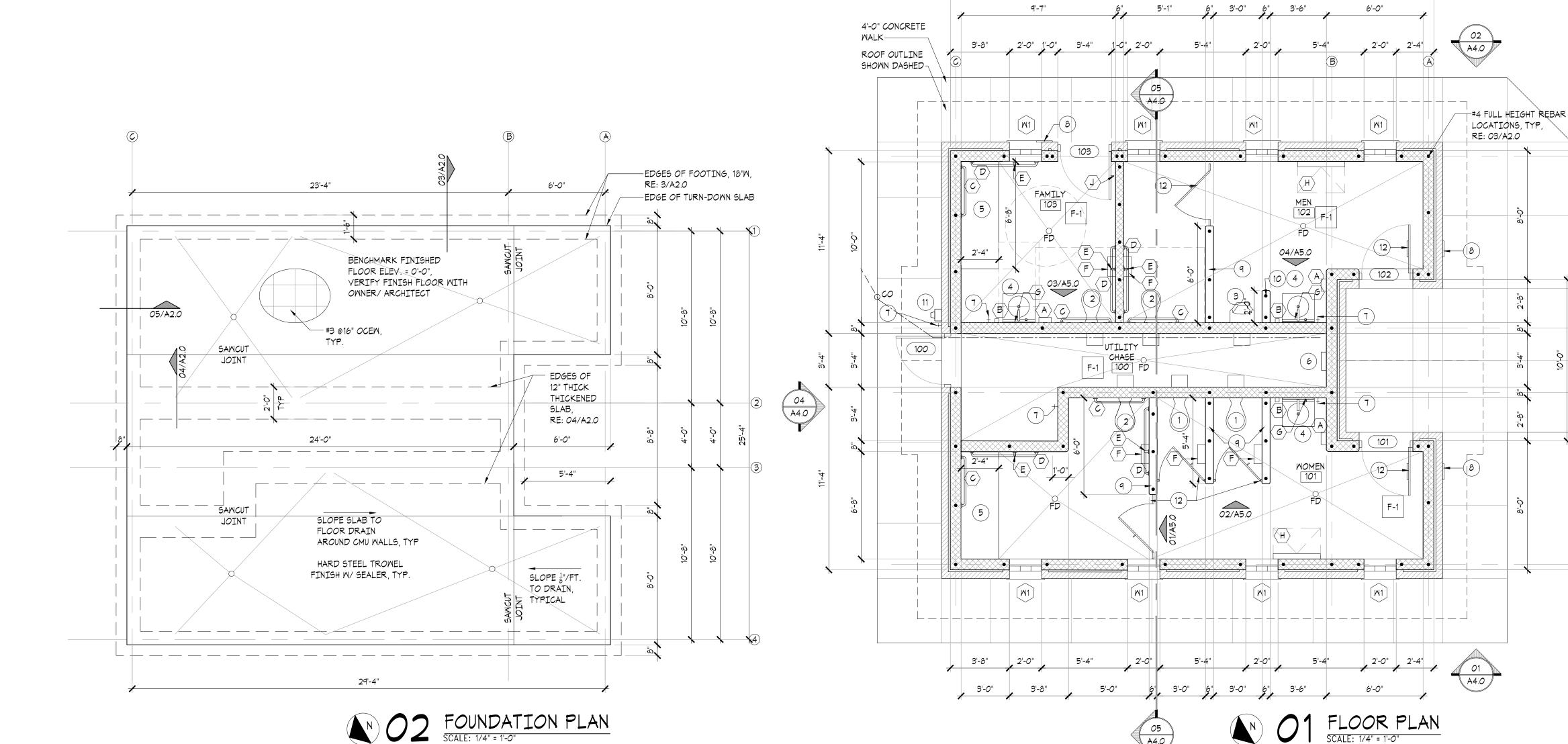
Sheet Title: ARCHITECTURAL SITE PLAN



8X8X16 CMU BLOCK #4 REBAR @ 24" O.C. INTO FILLED CORES, RE:01/A2.0 FOR VERTICAL REBAR LOCATIONS CORE-FILL INSULATION (POURABLE) LIQUID APPLIED VAPOR ALL EXTERIOR 8" CMU BARRIER -BLOCK WALLS, TYP. FULL GROUT FILL VENEER STONE ANCHORED TO BOTTOM CELL CMU W/ STAGGERED 2 PC WALL ANCHORS @ 1'-4" OCEM.-#4 CONT. REBAR @ SLAB EDGE FIBER FILLED WEEP HOLES @ 32" O.C.— CONCRETE SLAB W/ GROUT FILL AT BASE OF #35 @ 16" OCEM COURSE-- 6 MIL VISQUEEN SEALANT, TYPICAL -W/ TAPED SEAMS & PENETRATIONS 4'-0" CONCRETE WALK -SLOPE AWAY, LIGHT BROOM FINISH-COMPACTED SUBGRADE AND SAND CUSHION #4 REBAR @24" O.C., W/ STANDARD HOOK/ #4 @ 24" O.C. 18"X24"D FOOTING, RE: FOUNDATION PLAN Q2/A2,0 2 - #5'S T&B M/ #3 STIRRUPS @ 36" O.C. _

03 FOOTING SECTION DETAIL
SCALE: 1 1/2" = 1'-0"

30'-0"



PLAN NOTES BY SYMBOL ' (#) '

- 1) WATER CLOSET, REFER TO PLUMBING
- 2) ACCESSIBLE WATER CLOSET, REFER TO PLUMBING
- (3) URINAL, REFER TO PLUMBING
- 4) LAVATORY, REFER TO PLUMBING
- 5) CONCRETE CHANGING BENCH
- 6 NOT USED
- HOSE BIB
- 8) 12"X12" CAST BRONZE ACCESSIBLE RESTROOM SIGNAGE, RE: AO.1
- 9) 6'-0"H CMU PARTITIONS PROVIDE ADDITIONAL REINFORCING @ END OF WALL, TYPICAL
- (10) 4'-8"H CMU PARTITION PROVIDE ADDITIONAL REINFORCING @ END OF WALL, TYPICAL
- 11) ELECTRIC METER
- (12) BRAILLE ADA ALUMINUM SIGN, RE: AO.1

GENERAL NOTES

- ALL CONSTRUCTION TO CONFORM TO ALL APPLICABLE BUILDING CODES - LATEST ADOPTED EDITIONS
- . ANY DISCREPANCIES BETWEEN DRAWINGS AND / OR SPECIFICATIONS AND EXISTING CONDITIONS SHALL BE REFERRED TO ARCHITECT FOR CLARIFICATION AND ADJUSTMENT DURING BIDDING OR BEFORE WORK COMMENCES.
- B. INSTALL ALL PRODUCTS AND ASSEMBLIES IN STRICT ACCORDANCE WITH MANUFACTURERS' SPECIFICATIONS AND INSTRUCTIONS.
- . H'CAP TOILETS TO COMPLY WITH CABO ANSI A 117.1 LATEST ADOPTED VERSION.
- 6. CAULK ALL JOINTS OR CRACKS WHICH OCCUR WHERE DISSIMILAR MATERIALS INTERSECT PERPENDICULAR TO EA. OTHER, AND THE INTERSECTION IS EXPOSED TO VIEW, U.O.N.
- MHERE DOORS IN PARTITIONS ARE NOT SPECIFICALLY LOCATED ON PLANS, PROVIDE A MINIMUM HINGE SIDE JAMB DIMENSION OF 4" FROM DOOR OPENING TO ADJACENT PERPENDICULAR WALLS.
- INSTALLATION DETAILS AND DIMENSIONS MAY DIFFER FROM THOSE SHOWN. CONTRACTOR SHALL VERIFY INSTALLATION REQUIREMENT FOR ALL PRODUCTS TO BE INCORPORATED IN THE WORK (INCLUDING PARTITION THICKNESS FOR RECESSED PRODUCTS), & IS RESPONSIBLE FOR ACCOMMODATING ANY CHANGES TO OTHER MATERIALS OR PRODUCTS THAT ARE NECESSARY BECAUSE OF THESE DIFFERENCES.

 ALL CEILING PLANES TO BE UNIFORM AND FLAT. PAINTING

- ALL SHEENS TO MATCH ON ALL COMMON WALL PLANES.
- SEMI-GLOSS PAINT FINISH ON ALL CEILINGS, REFER SPECIFICATIONS.
- CONTRACTOR TO PROVIDE MOCK UP OF ALL PAINTS AND SHEENS REQUESTED.
- ALL H.M. FRAMES AND DOORS PAINTED TO MATCH ADJACENT WALL COLOR W/ SEMI-GLOSS ALKYD ENAMEL FINISH.
- ALL DIFFUSERS AND LOUVERS TO BE SHOP PAINTED TO MATCH ADJACENT FINISH W/ SEMI-GLOSS FINISH. COLOR TO BE APPROVED BY OWNER/ARCHITECT. SUBMIT
- RESTROOM WALLS: BLOCK FILLER W/ MINIMUM TWO COATS OF SEMI-GLOSS EPOXY PAINT FINISH. REFER SPECIFICATIONS.
- UTILITY CHASE WALLS: MASONRY PAINT

STANDARD FINISHES FOR SELECTION.

PAINT COLORS BY ARCHITECT.

HARDWARE

CMU

03 A4.0

- ALL DOOR HARDWARE TO BE HEAVY DUTY STAINLESS STEEL AND MOUNTED PER MFG.. INSTRUCTIONS AND ALL LAYOUT PENCIL MARKS TO BE REMOVED FROM DOOR AND HARDWARE
- IT IS THE INTENT OF THE DESIGN TO HAVE FOR ALL FASTENERS AND CONNECTORS TO BE CONCEALED FROM VIEW AS MUCH AS POSSIBLE.

TOILET PARTITIONS

- COLOR TO BE SELECTED BY ARCHITECT
- BASIS OF DESIGN IS SOLID COLOR REINFORCED COMPOSITE PARTITION, WALL SUPPORTED PARTITIONS -REFER SPECIFICATIONS.
- MFR. HEAVY DUTY COAT HOOK @ INTERIOR OF RESTROOM STALLS, MOUNTED AT ADA COMPLIANT HEIGHT - STAINLESS
- HINGES ARE HEAVY DUTY VANDAL RESISTANT CONTINUOUS STAINLESS STEEL.
- 6'-0" TALL FLOOR MOUNTED STILES EA. SIDE OF DOOR.
- ALL EXPOSED CMU CORNERS TO BE GROUND TO A 3/8" RADIUS INCLUDING TOPS OF PARTITION WALLS



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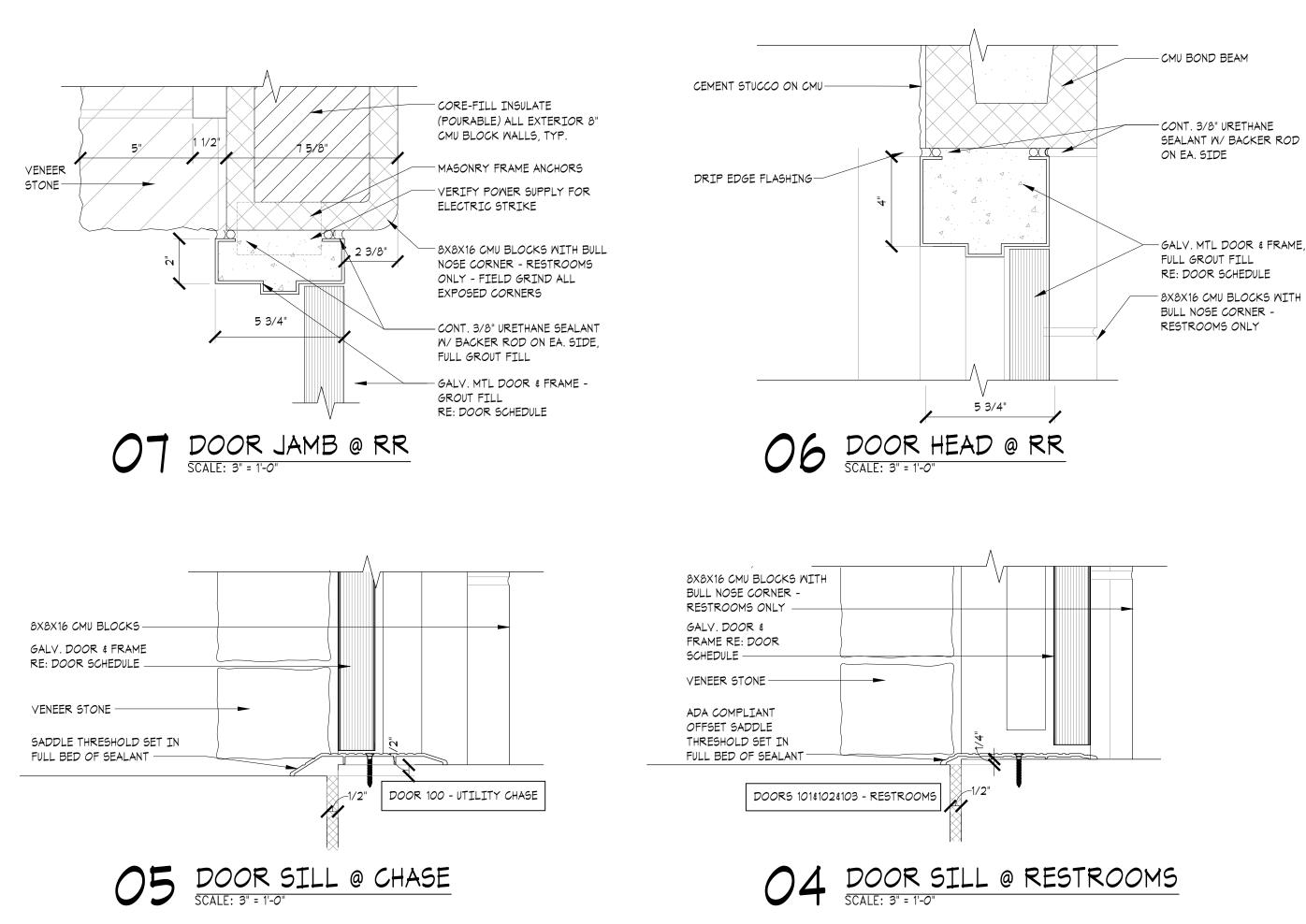
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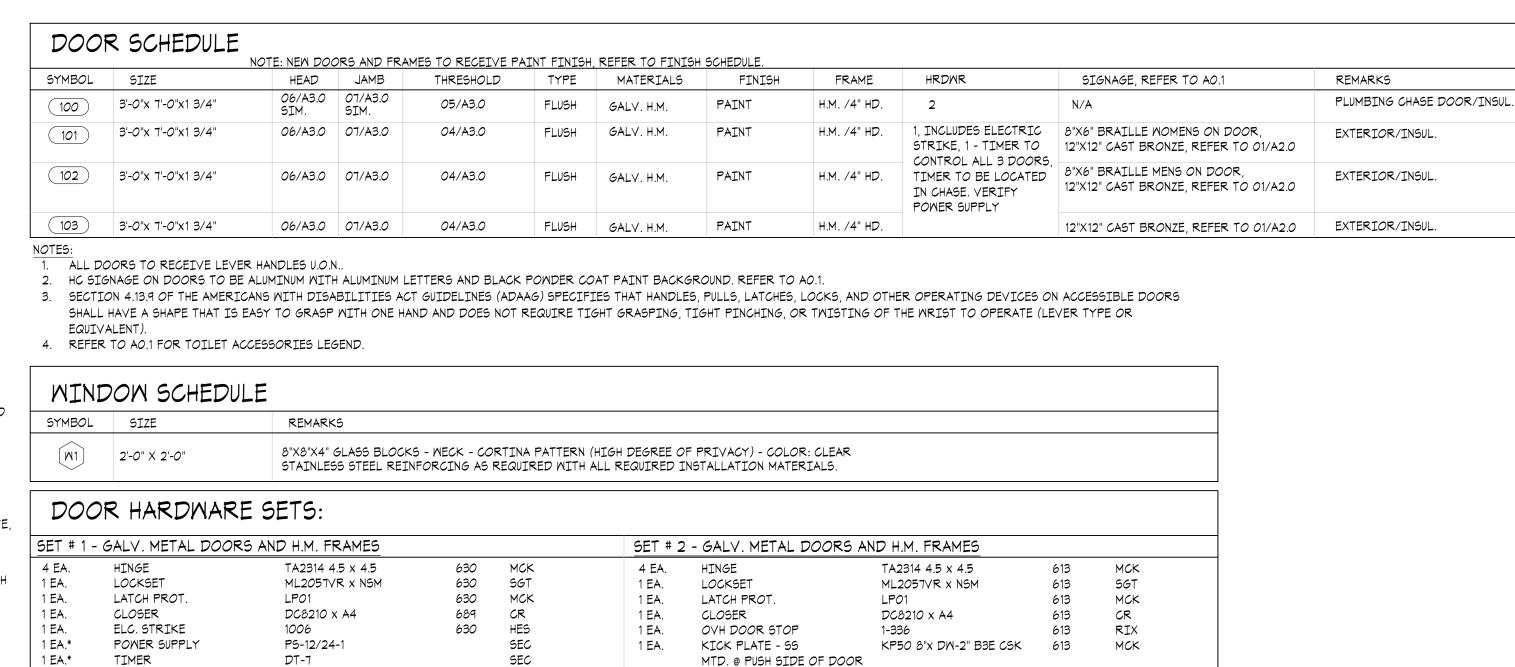
Project Number:

CM094323

Sheet Title: **FLOOR PLAN FOUNDATION PLAN**

FOOTING DETAILS





RAIN DRIP

DOOR BTM.

THRESHOLD

1 EA.

1 EA.

1 EA.

HD WTHR STRP

1ARK	SYMBOL	DESCRIPTION
A		RECESSED LED 12"X12" LIGHT FIXTURE - OCCUPANCY SENSOR CONTROLLED
A1		RECESSED LED EM 12"X12" LIGHT FIXTURE - OCCUPANCY SENSOR CONTROLLED
B1		SURFACE MOUNT 4' LED LIGHT - OCCUPANCY SENSOR CONTROLLED
C		EXTERIOR RECESSED LED ADJUSTABLE WALL WASHER LIGHT - PHOTO CELL ON / TIME CLOCK OFF
E		EXTERIOR LED WALL PACK - PHOTO CELL ON / TIME CLOCK OFF
05	O 5	CEILING MOUNTED OCCUPANCY SENSOR
OA	⊠ oa	OUTSIDE AIR SUPPLY GRILLE, RE: MECH.
EF	EF	EXHAUST FAN GRILLE, RE: MECH.
CH-1		FAN FORCED WITH SURFACE FRAME

NOTE: REFER TO ELECTRICAL/MECHANICAL PLANS FOR ALL DETAILS AND SPECIFICATIONS.

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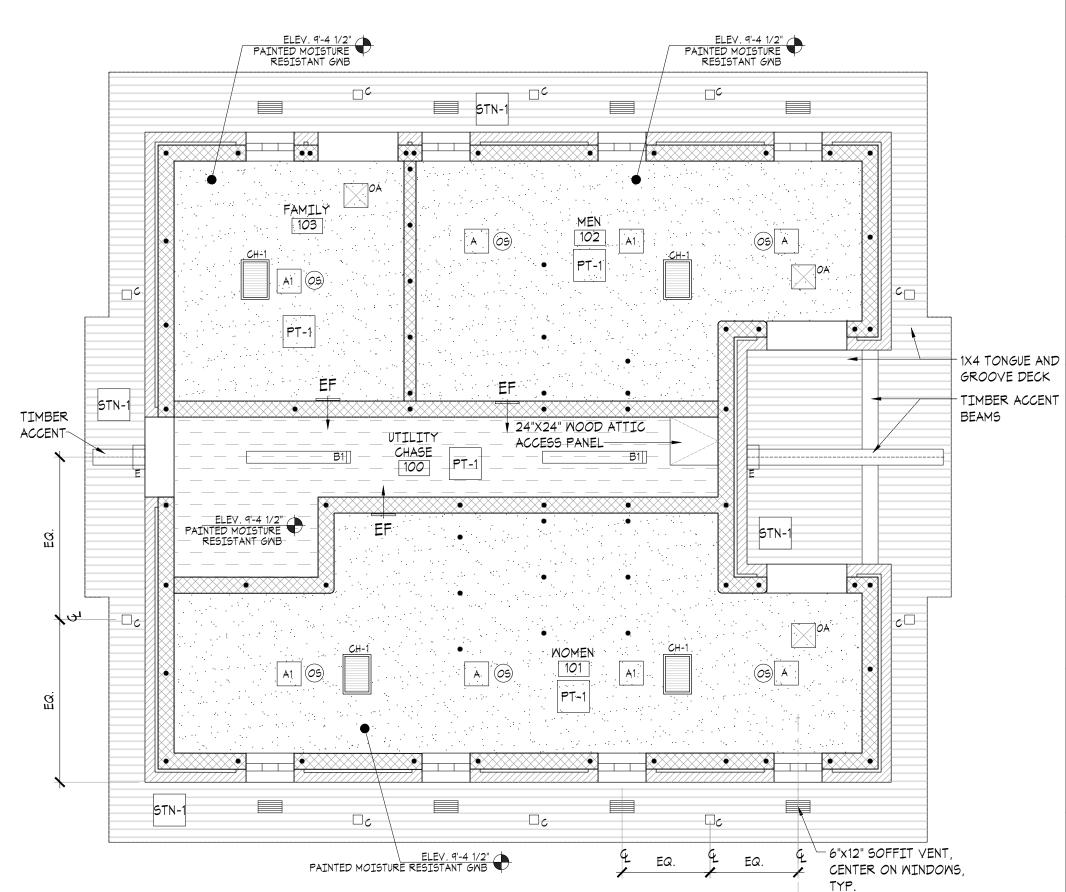
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MCK346C x DW + 4

MCK2891DVx(HD&JM)

MCK345DV

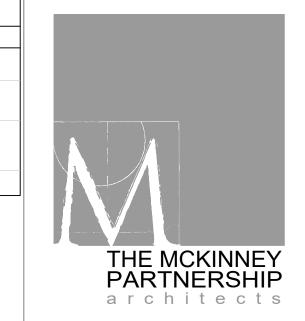
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BUILDING BELOW





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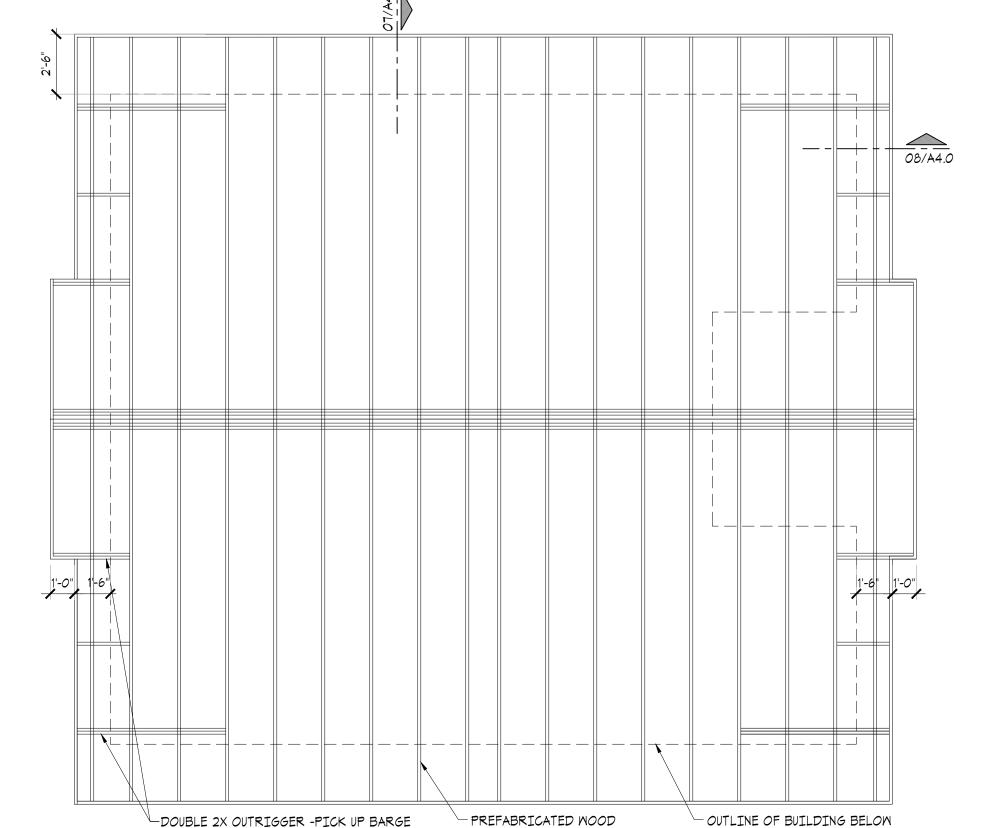
Revisions:

Project Number:

CM094323 Sheet Title:

REFLECTED CEILING PLAN ROOF PLAN FRAMING PLAN DOOR DETAILS, DOOR AND WINDOW SCHEDULE

Sheet Number:

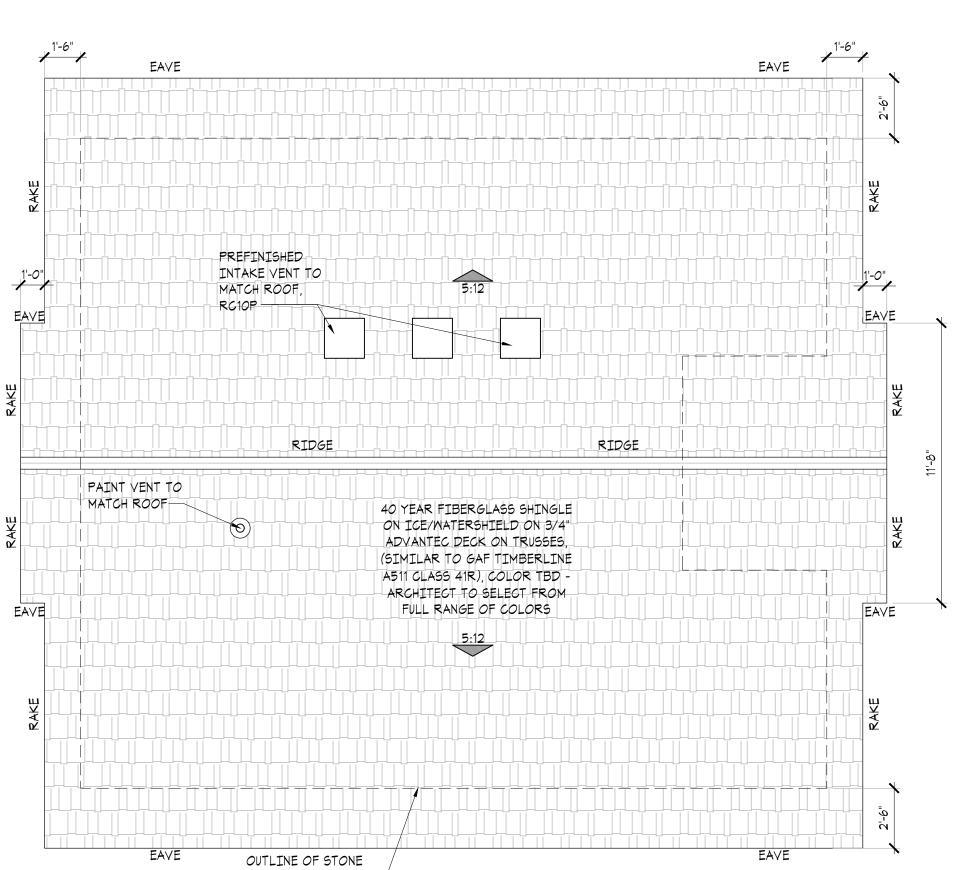


PREFABRICATED WOOD

TRUSSES @ 24" O.C.

DOUBLE 2X OUTRIGGER -PICK UP BARGE

RAFTER EA. SIDE - ANCHOR TO CMU & TOP PLATE - COORDINATE W/ ARCHITECT



HD FLR STOP

KICK PLATE - SS

HD WTHR STRP

DOOR BTM.

THRESHOLD

OPERABLE FROM EGRESS SIDE.

MTD. @ PUSH SIDE OF DOOR

DOOR STOP W/KEEPER

FS26

NOTE: * ELECTRIC STRIKE FAIL SECURE, CONTROLLED BY SINGLE POWER SUPPLY/TIMER

OPERATING ALL THREE DOORS, KEYED LOCKSET OUTSIDE LEVER RIGID, ALWAYS

KP50 8"x DW-2" B3E CSK

MCK158A - SET IN FULL

BED OF SEALANT

MCK346C x DW + 4

MCK2891AVX(HD&JM)

MCK245AV

630

630

628

719

719

719

MCK

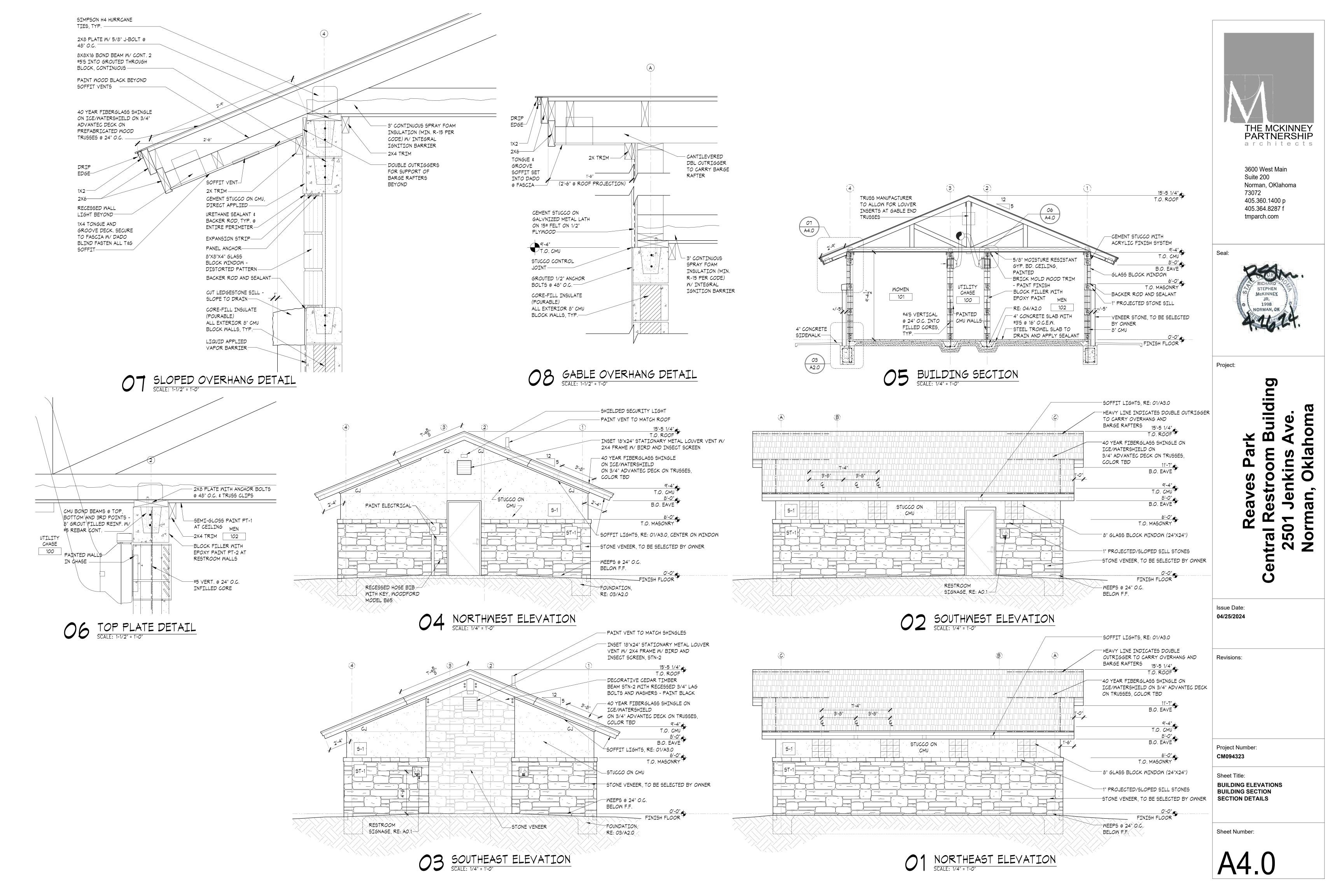
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MCK

MCK

MCK

MCK



-GALVANIZED -PAINT GMB PT-1 ┌─R/A GRILLE RE: MECH. BULL NOSE EDGES - FIELD HM DOOR AND -PT-1 BRICK MOLD GRIND, TYPICAL AT ALL FRAME - PT-3 INTERIOR EXPOSED CORNERS - GROUT FILL END PT-2 CORES OF ALL STALL WALLS M/ #5 BAR VERTICAL, COORDINATE MOUNT HT RE: 01/A2.0 FOR LOCATIONS =OF FLUSH SENSOR W/ GB HEIGHT -HOSE BIB MITH KEY WOODFORD MODEL B65

-PAINT GMB PT-1

-PT-1 BRICK MOLD

PAINTED

CMU-

PT-2

RECESSED HOSE BIB WITH KEY, WOODFORD MODEL B65

4" CONCRETE

TABLE, RE:

05/A2.0

BENCH/CHANGING

FINISH NOTES FINISH SCHEDULE

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER PREPARATION OF ALL NEW SURFACES IN A SATISFACTORY MANNER TO RECEIVE NEW FINISHES. THIS INCLUDES THE DEMOLITION AND REMOVAL OF NECESSARY ITEMS. TOUCH-UP AND/OR REFINISH OF SURFACES DAMAGED BY SUBSEQUENT WORK SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. ALL WORK SHALL BE PERFORMED IN CONFORMANCE WITH THE MANUFACTURER'S RECOMMENDED INSTALLATION METHODS. THE GENERAL CONTRACTOR SHALL PREPARE THE FLOOR PRIOR TO THE APPLICATION OF SEALANT.

ALL SURFACES WHICH ARE TO RECEIVE A PAINT FINISH SHALL BE PRIMED AND FINISHED IN ACCORDANCE WITH THE WRITTEN SPECIFICATIONS.

3. ALL JOINTS IN GYPSUM BOARD WALLS SHALL BE FINISHED WITH PAPER TAPE 2" WIDE AND THREE COATS OF VINYL, DRY OR PREMIXED JOINT COMPOUND. ALL OUTSIDE CORNERS SHALL BE FINISHED WITH METAL CORNER BEADS, TAPED AND SPACKLED. JUST PRIOR TO THE APPLICATION OF THE FIRST COAT OF PAINT, WIPE SANDED SURFACES WITH A DAMP CLOTH IN ORDER TO LAY FLAT ANY NAP WHICH MAY HAVE FORMED IN SANDING.

ALL FINISHES SHALL BE TOUCHED UP TO CORRECT ANY IMPERFECTIONS AFTER INSTALLATION. FIXTURE CONTRACTOR SHALL PROVIDE TO THE GENERAL CONTRACTOR ALL MATERIALS FOR TOUCH UP WORK.

THE INTENT OF THE FINISH SPECIFICATION IS TO PROVIDE A SATISFACTORY FINISH TO ALL PARTS OF THE WORK. COVER ALL SURFACES THOROUGHLY. IF THE SPECIFIED NUMBER OF COATS DOES NOT ACCOMPLISH THE INTENT, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE APPLICATION OF ADDITIONAL COATS OF THE SPECIFIED MATERIAL TO GIVE SATISFACTORY COVERAGE.

PARTITIONS TO BE SOLID COLOR WITH REINFORCED COMPOSITE (T-1) WITH FULL HT. STAINLESS STEEL HEAVY DUTY HARDWARE - SUBMIT FOR APPROVAL.

NOTE - PARTITIONS SHALL BE PROVIDED WITH: A. HEAVY GAUGE TYPE 304 SATIN FINISH STAINLESS STEEL HARDWARE.

B. SELF CLOSING HINGE RUNS FULL HEIGHT OF DOOR

C. THROUGH-BOLTED PANEL TO STILE ANGLE BRACKETS AND U-CHANNELS RUN FULL HEIGHT OF PANELS

D. VANDAL RESISTANT DOOR STOPS: CLOTHES HOOK

E. REINFORCED LATCH WITH THROUGH-BOLTED KEEPER

F. FOR EMERGENCY ACCESS DOOR LIFTS FROM OUTSIDE.

FINISH CODE	MATERIAL	MANUFACTURER	DESCRIPTION/CATALOG NO.
PT-1	PAINT & PRIMER	SHERWIN WILLIAMS	SW 9110 MALABAR GWB CEILING SEMI-GLOSS @ CEILING, 2 COATS
PT-2	EPOXY PAINT	SHERWIN WILLIAMS	SW 9110 MALABAR, MACROPOXY HS, HIGH SOLIDS EPOXY PAINT (BLOCK FILLER - KEM CATI-COAT HS EPOXY FILLER/SEALER) CMU WALLS - 1 COAT BLOCK FILLER, 2 COATS EPOXY PAINT SEMI-GLOSS @ WALLS
PT-3	PAINT	SHERMIN MILLIAMS	SM 9110 MALABAR HM DOORS AND FRAMES SEMI-GLOSS @ METAL - PRIMER & 2 COATS
F-1	SEALED CONCRETE	CONCRETE SEALERS USA	PS101 SILICONATE MULTI-SURFACE (SMOOTH) WATER-BASED PENETRATING SEALER - ZERO VOC
STN-1	STAIN	TBD	COLOR TBD. CONTRACTOR TO SUBMITTAL FULL RANGE OF COLORS FOR ARCHITECT TO SELECT FROM
STN-2	STAIN	TBD	COLOR TBD. CONTRACTOR TO SUBMITTAL FULL RANGE OF COLORS FOR ARCHITECT TO SELECT FROM
5-1	STUCCO	TBD	COLOR TBD CEMENT STUCCO
ST-1	STONE VENEER	MINICK MATERIALS	COLOR & PATTERN TBD FROM STANDARD STOCK, COLOR TO BE SELECTED BY OWNER, COLORED GROUT TBD
T-1	TOILET PARTITIONS	BOBRICK, MANUFACTURER'S REP:	SOLID COLOR REINFORCED COMPOSITE WALL SUPPORTED PARTITIONS, 1090 SERIES SIERRA - COLOR TBD - SUBMIT COLOR

DENA TAYLOR

(682) 704-0244

dena@archspecinc.com

CHART FOR APPROVAL,

HEIGHT - STAINLESS STEEL,

CONTINUOUS STAINLESS STEEL,

GAP FREE DOORS AND STILE,

RECOMMENDATIONS

MFR. HEAVY DUTY COAT HOOK @ INTERIOR OF

HINGES ARE HEAVY DUTY VANDAL RESISTANT

THRU BOLT HARDWARE PER MANUFACTURER'S

FOR LIST OF APPROVED INSTALLERS

RESTROOM STALLS - MOUNTED AT ADA COMPLIANT

6'-0" TALL FLOOR MOUNTED STILES EA. SIDE OF DOOR,

TO BE INSTALLED BY BOBRICK APPROVED INSTALLER

ONLY, CONTACT MANUFACTURER'S REP, DENA TAYLOR,



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Project:

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Issue Date: 04/25/2024

Revisions:

BULL NOSE EDGES -

TYPICAL AT ALL INTERIOR

CORNERS - GROUT FILL END

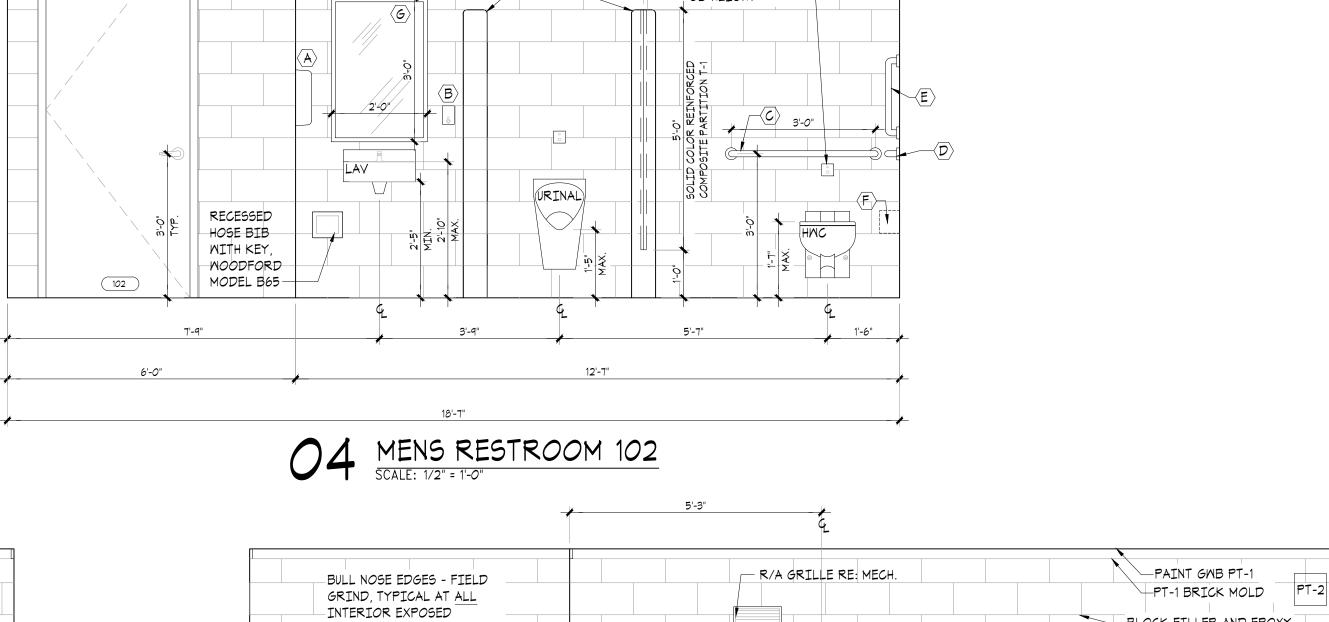
CORES OF ALL STALL WALLS W/ #5 BAR VERTICAL,

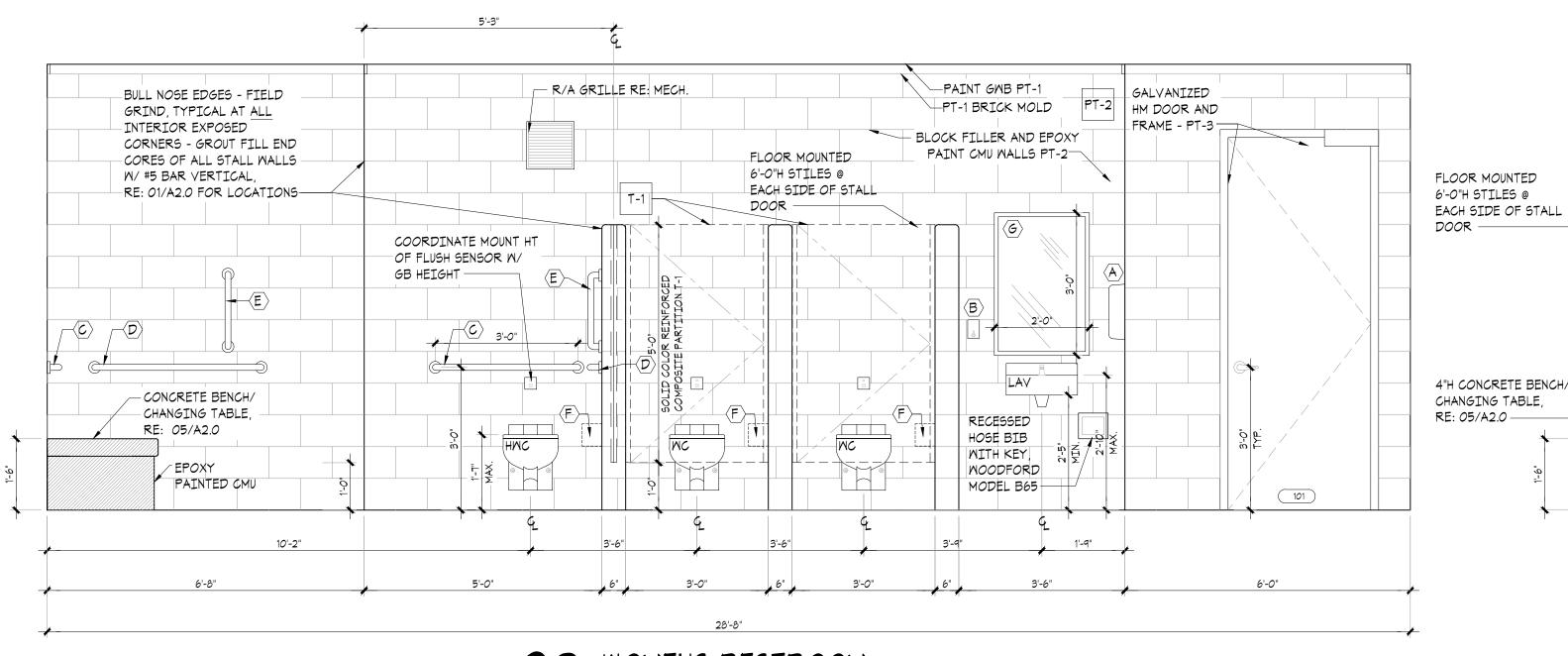
RE: 01/A2.0 FOR LOCATIONS

Project Number: CM094323

Sheet Title: **INTERIOR ELEVATIONS**

Sheet Number:





HMC

PAINT GMB PT-1

-PT-1 BRICK MOLD

4'-0"
CLEAR OPENING CMU

BLOCK FILLER AND EPOXY

PAINT CMU WALLS PT-2—

LIGH	HT FIXTUR	RE LEGEND			
MARK	SYMBOL	DESCRIPTION	MANUFACTURER	MODEL NUMBER	SPECS
A		RECESSED LED 12"X12" LIGHT FIXTURE - OCCUPANCY SENSOR CONTROLLED, WET LOCATION	KIRKLAND LIGHTING	LRS-11535-6500L 120-35K-26-45-46	74W LED
A1		RECESSED LED EM 12"X12" LIGHT FIXTURE - OCCUPANCY SENSOR CONTROLLED, WET LOCATION	KIRKLAND LIGHTING	LRS-11535-6500L 120V-EI-35K-26-45-46	74W LED
В1		SURFACE MOUNT 4' LED LIGHT - OCCUPANCY SENSOR CONTROLLED	COLUMBIA LIGHTING	LXEM4-35ML-RFP-E-U-ELL14	42M LED
C		EXTERIOR RECESSED LED ADJUSTABLE WALL WASHER LIGHT - PHOTO CELL ON / TIME CLOCK OFF	ELITE LIGHTING	HH45QLED-900L-DIMTR-120- 30K-MD-90/LED4507-MB-BK	12M LED
E		EXTERIOR LED WALL PACK - PHOTO CELL ON / TIME CLOCK OFF	HUBBELL LIGHTING	9G1-20-3K7-FT-UNV-DB-PCU-E	21M LED

KEY NOTES

GENERAL NOTES

1.) 100 FEET OR LESS:

SMITCHING

PHASE - 3#12 AMG

NEUTRAL - 1#12 AMG

GROUND - 1#12 AMG

2.) GREATER THAN 100 FEET:

BRANCH CIRCUIT WIRING SHALL BE AS FOLLOWS:

3.) TWO NETWORKS MAXIMUM PER CONDUIT.

A. LIGHTING AND POWER NETWORKS: (120/208V, 3Φ, 4W)

INCREASE ALL CONDUCTORS BY ONE WIRE GAUGE SIZE.

2. MINIMUM CONDUIT SIZE SHALL BE $\frac{3}{4}$ ", UNLESS OTHERWISE NOTED OR

3. ALL EMERGENCY, EXIT AND NIGHT LIGHTING WIRED AHEAD OF LOCAL

- > POWER TO HAND DRYER. INSTALL PER MANUFACTURER INSTALLATION MANUAL. COORDINATE FINAL LOCATION IN FIELD WITH ARCHITECT. (1) DEDICATED 20 AMP, 120 VOLT GFCI CIRCUIT PER DRYER. CONCEAL CONDUIT IN CMU WALLS
- $\langle 2
 angle$ access control hardware at entry doors to restrooms, e.c. . TO COORDINATE WITH GC AND OOR MANUFACTURER FOR CONNECTION REQUIREMENTS.

SWITCH DESIGNATIONS

- (05) OCCUPANCY/MOTION SENSOR CONTROL WITH INTEGRAL ADJUSTABLE TIMER. SET TO MAX 30 MINUTES. WATTSTOPPPER PASSIVE INFRARED
- \$ OCCUPANCY SENSOR LIGHT SWITCH

- CEILING SENSOR CB-100

ANSIG51.1 - CONSTRUCTION AND GUIDE FOR SELECTION, INSTALLATION F ANSI C52.1 - MOTORS AND GENERATORS (NEMA MG 1)

- VERIFY EXACT LOCATIONS, ELEVATIONS AND CHARACTERISTICS OF UTILITIES AND PIPING BEFORE
- 2. CONTRACTOR SHALL MAKE ALL ARRANGEMENTS WITH UTILITY COMPANIES FOR SERVICE AND CONNECTIONS. CITY SHALL PAY FOR ALL PERMITS, FEES, CHARGES AND METERS, IF APPLICABLE.
- TERMINATE ALL VENT AND FLUE OUTLETS AT 10'-O" MINIMUM FOR ANY FRESH AIR INTAKES 4. INSTALL ALL PLUMBING TO AVOID INTERFERENCE WITH ELECTRICAL AND MECHANICAL EQUIPMENT AND
- STRUCTURAL FRAMING. NO WATER OR DRAIN LINES PERMITTED OVER UNDER ELECTRICAL PANELS. INSURE THAT ALL WATER LINES INSIDE AND ADEQUATELY SECURED.
- AN APPROVED RECEPTOR AND ALL NECESSARY TRIM FOR COMPLETELY INSTALLED AND CONNECTED PLUMBING SYSTEM
- THAT ARE ENCOUNTERED AND NEW PIPES INSTALLED DURING THE COURSE OF THE PROJECT DELIVER AS BUILDS TO THE CONSTRUCTION MANAGER AT THE END OF THE PROJECT
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL LOCAL FEDERAL CODES, RULES AND REGULATIONS GOVERNING THIS PROJECT.
- COMPLETELY REMOVE ALL EXPOSED LABELS, SOIL, MARKINGS AND FOREIGN MATERIAL EXCEPT PRODUCT LABELS AND THOSE REQUIRED BY LAW
- GOVERNING AUTHORITY HAVING JURISDICTION MAY REQUIRE THE FOLLOWING: FLOOR DRAINS MAY NEED TO BE RECESSED WITH THE FLOOR SLOPED TO THE DRAIN. THE PLUMBING CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THIS INFORMATION AND INSTALLING THESE ITEMS AS REQUIRED BY
- FLOOR CLEANOUTS, AND ANY OTHER PLUMBING FLOOR PENETRATIONS. MAKE WATER TIGHT CONNECTION WITH WATERPROOFING MEMBRANE
- 1. THE INTENT OF THE DRAWING HEREIN IS TO REPRESENT A COMPLETE WORKING SYSTEM. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND INSTALLING ALL COMPONENTS NECESSARY TO PROVIDE A COMPLETE WORKING AND CODE COMPLIANT SYSTEM, WHETHER SHOWN OR NOT SHOWN ON THE DRAWINGS.

ELECTRICAL SYMBOLS POWER PANELBOARD OR DISTRIBUTION PANEL, CAPACITY TBD

- RECEPTACLES & OUTLETS (MOUNT BOTTOM OF BOX AT 15" AFF U.N.O.) (ALL DIM NOTED TO CENTER OF BOX)
- DUPLEX RECEPTACLE, 20A, 120V, 3 WIRE GROUNDED TYPE (WHITE)
- JUNCTION BOX
- GFCI DUPLEX RECEPTACLE, 20A, 120V, 3 WIRE GROUNDED TYPE (WHITE) DISCONNECT
- ES ELECTRIC STRIKE FOR TIMER LOCKS, REFER TO DOOR HARDWARE SET #1 ON SHEET A3.0

GENERAL NOTES

MEP DESIGN-BUILD NOTES

FIXTURES AND EQUIPMENT.

REVISION SHALL BE FOLLOWED.

EQUIPMENT.

COMMENCEMENT OF WORK, AND IMMEDIATELY NOTIFY PROJECT MANGER OF ANY DISCREPANCIES.

DRAWINGS ARE DIAGRAMMATIC AND INDICATE THE GENERAL ARRANGEMENT OF SYSTEMS AND WORK INCLUDED IN THE CONTRACT. DO NOT SCALE THE DRAWINGS. DESIGNER TO VERIFY EXACT LOCATION OF

WORK UNDER EACH SECTION SHALL CLOSELY FOLLOW DRAWINGS IN LAYOUT OF WORK AND CHECK DRAWINGS OF OTHER DIVISIONS TO VERIFY SPACES IN WHICH WORK WILL BE INSTALLED.

CONTRACTOR TO VERIFY ADEQUATE CAPACITIES OF HOT WATER HEATER, EXHAUST FANS AND ALL MEP

5. THE CONTRACTOR SHALL VISIT THE SITE AND BECOME THOROUGHLY FAMILIAR WITH ALL CONDITIONS

CODES AND STANDARDS: THE STANDARDS AND CODES LISTED BELOW SHALL APPLY TO ALL MECHANICAL

WORK. WHERE STANDARDS OR CODES ARE MENTIONED IN THESE SPECIFICATIONS, THE LATEST EDITION OR

WORK OF OTHER TRADES OR FOR PROPER EXECUTION OF THE WORK.

THE SITE, THE EXISTING BUILDING AND THE CONTRACT DOCUMENTS.

ANSI A40.8 - NATIONAL PLUMBING CODES

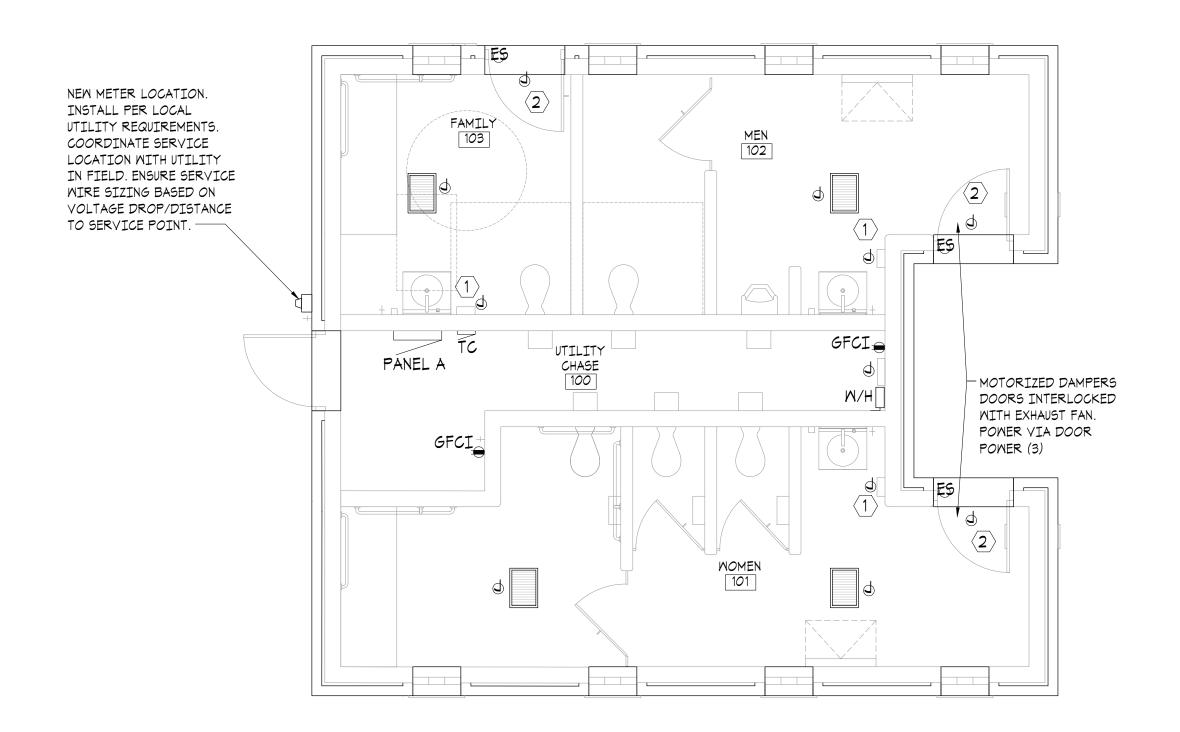
ANSI C 1 - NATIONAL ELECTRIC CODE (NFPA 70)

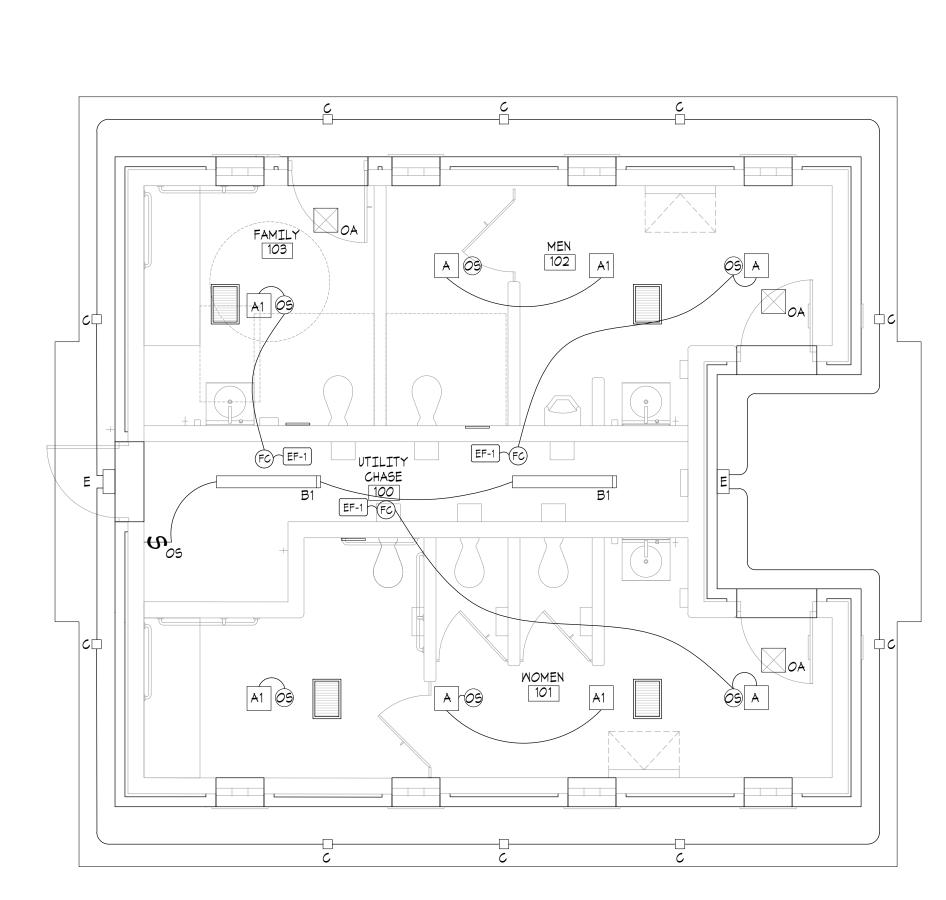
ANSI C50 - ROTATING ELECTRICAL MACHINERY

A. ANSI A12.1 - SCHEME FOR THE IDENTIFICATION OF PIPING SYSTEM

STATE AND LOCAL CODES SHALL APPLY AS LISTED ON COVER SHEET.

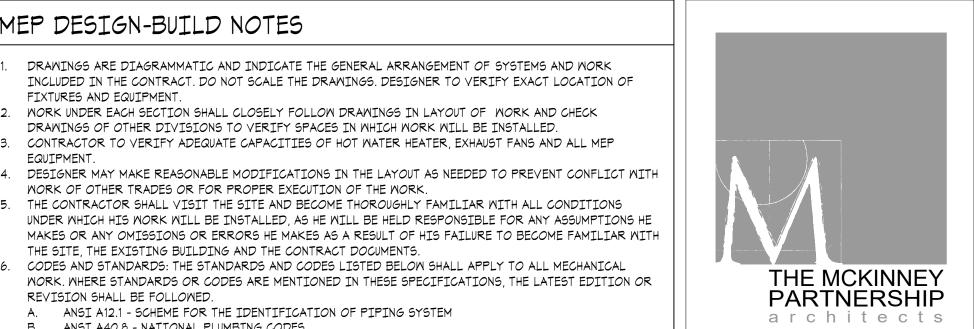
- CONTRACTOR TO RE-USE EXISTING CAPPED SERVICES FROM OLD RESTROOM BUILDING PREVIOUSLY DEMOLISHED BY THE CITY OF NORMAN.
- PROVIDE FAUCETS UNLESS OTHERWISE NOTED, TRAPS, STOPS, GATE VALVE, GAS COCKS, WATER HAMMER ARRESTORS, WALK THE NOTES, COVERS, FLEX CONNECTIONS, SHUT OFF VALVES AND INDIRECT WASTE TO
- RECORD ON AS BUILT DRAWINGS ALL SIZES, LOCATIONS, INVERTS, AND MATERIALS OF EXISTING PIPES
- 3. UPON COMPLETION OF JOB, INSPECT ALL EXPOSED PORTIONS OF THE PLUMBING INSTALLATIONS AND
- 1. PLUMBING CONTRACTOR SHALL VERIFY INSTALLATION REQUIREMENTS FOR FLOOR DRAINS. THE
- 10. CONTRACTOR TO PROVIDE AND INSTALL CLAMPING RINGS AND COLLARS FOR ALL FLOOR DRAINS,
- 12. FLOOR DRAINS TO BE RECESSED AND FLOOR SLOPED TO DRAINS.











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POWER PLAN

Project Number:

Sheet Title: **ELECTRICAL LIGHTING PLAN**

GRILLE, REGISTER & DIFFUSER SCHEDULE

MARK	SYMBOL	MANUFACTURER	MODEL	NECK VELOCITY FPM (MAX)	DEVICE SIZE	MOUNTING	TYPE
EX-1 300		TITUS	350F	500	12X12	SURFACE	EXHAUST
OA-1 300		TITUS	350F	500	12X12	SURFACE	OUTDOOR AIR
NOTES.							

1. COLOR TO BE APPROVED BY OWNER/ARCHITECT. SUBMIT FINISHES FOR APPROVAL - BASIS OF DESIGN: MILL FINISH

EXHAUST FAN SCHEDULE

	CFM	SP " W.C.	RPM	DRIVE	MATTS	VOLTAGE PH./HZ.	MANUFACTURER MODEL NO.	NOTES
EF-1	450 MAX	0.4"	2,618	DIRECT	116	120/1/60	FANTECH FG8, STANDARD ALUMINUM COLOR	1,2,3

. FANS SHALL BE DUCT MOUNTED PER MANUFACTURER. 2. FAN SHALL BE CONTROLLED B THE TOILET ROOM OCCUPANCY SENSOR VIA REMOTE MOUNTED WC15 SPEED CONTROL IN CHASE ROOM. 3. FAN SHALL BE PROVIDED WITH LOW LEAKAGE BACKDRAFT DAMPER.

BACKDRAFT DAMPER-

FULL SIZE PLENUM BOX ON
18X18 RUSKIN ELF375DX WITH
BIRD/INSECT SCREEN.
FINAL FINISH WILL BE
FACTORY APPLIED. COLOR
TO BE APPROVED BY OWNER/
ARCHITECT. SUBMIT FINISHES

FOR APPROVAL, KYNAR 500 -

ELECTRIC HEAVY DUTY EARCED HEATERS

MARK	MANUFACTURER	MODEL	MALL BOX	POWER
CH-1	TRICORP RAYWALL	H3387D-RPT	3380	4.8KW 240V 1Φ 20 AMP
MH-2	MARKEL SURFACE MOUNTED	H3423T	3420	5KW 240V 1Φ 20.8 AMP

INTAKE ROOF VENTS

DUCT TO AIR INTAKE ROOF VENT, RE: 02/A3.0

EX-1 300

EX-1 300

300

MEN 102

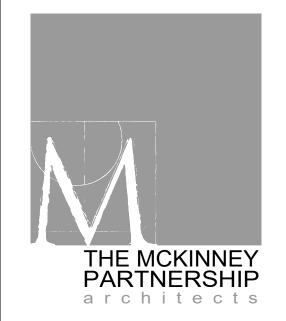
12"Φ-EF-1 (FC) BACKDRAFT DAMPER

12"D BACKDRAFT DAMPER

RC10P - BLACK 10" DUCT

MEP DESIGN-BUILD NOTES

- DRAWINGS ARE DIAGRAMMATIC AND INDICATE THE GENERAL ARRANGEMENT OF SYSTEMS AND WORK INCLUDED IN THE CONTRACT. DO NOT SCALE THE DRAWINGS. DESIGNER TO VERIFY EXACT LOCATION OF FIXTURES AND EQUIPMENT.
- 2. WORK UNDER EACH SECTION SHALL CLOSELY FOLLOW DRAWINGS IN LAYOUT OF WORK AND CHECK DRAWINGS OF OTHER DIVISIONS TO VERIFY SPACES IN WHICH WORK WILL BE INSTALLED.
- 3. CONTRACTOR TO VERIFY ADEQUATE CAPACITIES OF HOT WATER HEATER, EXHAUST FANS AND ALL MEP EQUIPMENT.
- 4. DESIGNER MAY MAKE REASONABLE MODIFICATIONS IN THE LAYOUT AS NEEDED TO PREVENT CONFLICT WITH WORK OF OTHER TRADES OR FOR PROPER EXECUTION OF THE WORK. THE CONTRACTOR SHALL VISIT THE SITE AND BECOME THOROUGHLY FAMILIAR WITH ALL CONDITIONS
- UNDER WHICH HIS WORK WILL BE INSTALLED, AS HE WILL BE HELD RESPONSIBLE FOR ANY ASSUMPTIONS HE MAKES OR ANY OMISSIONS OR ERRORS HE MAKES AS A RESULT OF HIS FAILURE TO BECOME FAMILIAR WITH THE SITE, THE EXISTING BUILDING AND THE CONTRACT DOCUMENTS.
- . CODES AND STANDARDS: THE STANDARDS AND CODES LISTED BELOW SHALL APPLY TO ALL MECHANICAL WORK. WHERE STANDARDS OR CODES ARE MENTIONED IN THESE SPECIFICATIONS, THE LATEST EDITION OR REVISION SHALL BE FOLLOWED.
- A. ANSI A12.1 SCHEME FOR THE IDENTIFICATION OF PIPING SYSTEM
- ANSI A40.8 NATIONAL PLUMBING CODES
 - ANSI C 1 NATIONAL ELECTRIC CODE (NFPA 70)
 - ANSI C50 ROTATING ELECTRICAL MACHINERY ANSIC51.1 - CONSTRUCTION AND GUIDE FOR SELECTION, INSTALLATION F
 - ANSI C52.1 MOTORS AND GENERATORS (NEMA MG 1)
 - STATE AND LOCAL CODES SHALL APPLY AS LISTED ON COVER SHEET.



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HVAC PLAN AND SCHEDULES

Sheet Number:



OA-1 300

0A-1 300

— DUCT TO AIR INTAKE ROOF VENT, RE: 02/A3.0

- DUCT TO AIR INTAKE ROOF VENT,

RE: 02/A3.0

MARK	FIXTURE	WASTE	VENT	CM	HM	DESCRIPTION/REMARKS
HMC	ACCESSIBLE WATER CLOSET	3"				ACORN PENAL-WARE 1680 SERIES SIPHON JET TOILET, OFF FLOOR. MODEL 168-W-1-128-FVBO-PFS-ADA. INCLUDED MOUNTING HARDWARE FOR 8" BLOCK WALL. PUNCHED FOR SEAT. BRADLEY S45-2308 ELONGATED OPEN FRONT BLACK SEAT. HANDICAP HEIGHT, TOF OF SEAT AT 15-1/2" AFF. CONCEALED INSTALLATION OF SLOAN REGAL 152 ESS 1.6 GPM 1.6 GPF ROUGH BRASS FINISH, SINGLE FLUSH, 2-10.75 L DIMENSION, ELECTRICAL OVERRIDE, HARDWIRED, SENSOR-OPERATED. PROVIDE ALL NECESSARY INSTALLATION COMPONENTS PER MANUFACTURERS INSTALLATION GUIDE/LOCAL, STATE AND FEDERAL CODES.
MC	WATER CLOSET					ACORN PENAL-WARE 1680 SERIES SIPHON JET TOILET, OFF FLOOR. MODEL 168-M-1-128-FVBO-PFS. INCLUDED MOUNTING HARDWARE FOR 8" BLOCK WALL. PUNCHED FOR SEAT. BRADLEY \$45-2308 ELONGATED OPEN FRONT BLACK SEAT. STANDARD HEIGHT, TOP OF SEAT AT 17-1/2" AFF. CONCEALED INSTALLATION OF SLOAN REGAL 152 ESS 1.6 GPM 1.6 GPF, ROUGH BRASS FINISH, SINGLE FLUSH, 2-10.75 L DIMENSION, ELECTRICAL OVERRIDE, HARDWIRED, SENSOR-OPERATED. PROVIDE ALL NECESSARY INSTALLATION COMPONENTS PER MANUFACTURERS INSTALLATION GUIDE/LOCAL, STATE AND FEDERAL CODES.
LAV	LAVATORY MALL HUNG					ACORN MERIDIAN 3711 18" LAVATORY WITH ROUND BOWL. ADA COMPLIANT. CONCRTE BLOCK MOUNTING. MODEL
FD	FLOOR DRAIN					JOSAM 30003-A-55 CAST IRON DRAIN WITH SATIN NIKOLOY STRAINER, CAST IRON FLASHIN COLLAR. INSTALL DEEP SEAL TRAP.
UR	URINAL					PENAL-WARE 170HEU ADA COMPLAINT HIGH EFFICIENCY URINAL. CONCRETE BLOCK MOUNTING MODEL 170HEU-W-1-0.5-FVBO-SW. CONCEALED INSTALLATION OF ROYAL 190 ES ROYAL CONCEALED SOLENOID URINAL FLUSHMETER. PROVIDE ALL NECESSARY INSTALLATION COMPONENTS PER MANUFACTURER INSTALLATION GUIDE/LOCAL, STATE AND FEDERAL CODES
MCO	WALL CLEANOUT					ZURN 1445. FURNISH W/POLISHED BRONZE, SQUARE ACCESS COVER AND FRAME
FCO	FLOOR CLEANOUT					ZURN Z1400-SZ LEVEL-TROL"SQUARE ADJUSTABLE LEVELING FLOOR CLEANOUT ADJUSTABLE HOUSING, NICKEL BRONZE TOP.
TP	TRAP PRIMER					PRECISION PLUMBING PRODUCTS TRAP PRIMER. BRONZE CONSTRUCTION WITH VACUUM PORTS. ADJUSTABLE WITH 1/2" COPPER TYPE L TO RECEPTOR
MHA	WATER HAMMER ARRESTOR					JR SMITH SERIES HYDROTROL, STAINLESS STEEL CONSTRUCTION
H/W	INSTA-HOT ELECTRIC					STEIBEL ELTRON INSTA-HOT DHC-E 8/10. 240 VOLT SINGLE PHASE 2 POLE. 7.2KW. 30 AMP LOAD ON 40 AMP BREAKER (HACR) 49°F RISE AT 1.0 GPM FLOW. INSALL WATTS LFUSG-B TEMPERING VALVE TO ENSURE MAXIMUM TEMPERATURE OF 109°F AT FAUCET
FMH	FREEZELESS WALL					WOODFORD ANTI-SIPHON FREEZELESS WALL HYDRANT MODEL B-65. VACUUM BREAKER,

KEY NOTES

HYDRANT

 $\langle 1 \rangle$ 1/2" HOT AND COLD WATER DOWN TO FIXTURE, INSTALL WATER HAMMER ARRESTOR ON TOP OF FEED DOWN.

 $\langle 2 \rangle$ 1" COLD WATER DOWN TO FIXTURE, INSTALL WATER HAMMER ARRESTOR ON TOP OF FEED DOWN.

3 NEW 1" WATER SERVICE UP ON WALL. INSTALL SHUT-OFF AND RPZ BACKFLOW IN VERTICAL AT 48" AFF. CLEARLY LABEL AS "MAIN WATER SHUT OFF".

ANTI-SIPHO, FLUSH MOUNT WALL BOX WITH DOR. BRONZE

 $\langle 4 \rangle$ 3/4" CM OWN TO WALL HYDRANT WITH 1/2" CM TO INSTAHOT.

(5) WATTS LFUSG-B THERMOSTATIC MIXING VALVE SET TO 109°F BEHINDHAND SINK IN SERVICE CHASE.

(6) 1/2" HW FROM INSTAHOT TO EACH LAV.

 $\langle \overline{\gamma} \rangle$ 3/4" CM DOWN TO WALL HYDRANT. INSTALL WATER HAMMER ARRESTOR ON TOP OF FEED DOWN.

(8) CONNECT TO EXISTING UNDERGROUNDI" WATER SERVICE FROM CITY/PUBLIC WORKS. VERIFY IN FIELD EXACT LOCATION.

PLUMB	PLUMBING LEGEND						
— HM	DOMESTIC HOT WATER						
	DOMESTIC COLD WATER						
	SANITARY SEMER						
	RISER DOWN (ELBOW)						
—0	RISER UP (ELBOW)						
	TEE DOWN						
N	BACKFLOW PREVENTER						
-	CHECK VALVE						
□FD	FLOOR DRAIN						
0FC <i>0</i>	FLOOR CLEANOUT						

MEP DESIGN-BUILD NOTES

- DRAWINGS ARE DIAGRAMMATIC AND INDICATE THE GENERAL ARRANGEMENT OF SYSTEMS AND WORK INCLUDED IN THE CONTRACT. DO NOT SCALE THE DRAWINGS. DESIGNER TO VERIFY EXACT LOCATION OF ETXTURES AND EQUIPMENT.
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- DRAMINGS OF OTHER DIVISIONS TO VERIFY SPACES IN WHICH WORK WILL BE INSTALLED.

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 EQUIPMENT
- EQUIPMENT.

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- REVISION SHALL BE FOLLOWED.

 A MIST A12.1 SCHEME FOR THE IDENTIFICATION OF PIPING SYSTEM.
- A. ANSI A12.1 SCHEME FOR THE IDENTIFICATION OF PIPING SYSTEM
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- ANSI C52.1 MOTORS AND GENERATORS (NEMA MG 1)
 STATE AND LOCAL CODES SHALL APPLY AS LISTED ON COVER SHEET.

GENERAL COMMENTS

- NEW WORK, ALTERATIONS OR ADDITIONS TO MECHANICAL AND PLUMBING SYSTEMS ARE
- SUBJECT TO FIELD INSPECTION

 2. ALL PLUMBING FIXTURES IN NEW CONSTRUCTION SHALL MEET THE FLOW AND PRESSURE REQUIREMENTS
 IPC TABLES 604.3 & 604.4.
- 3. PROVIDE CLEAN OUTS IN WASTE PIPING PER IPC 108 AND DBCA/IPC 108.1.3 AND 108.1.4.
 4. VENT TERMINATION SHALL COMPLY TO SIZE AND LOCATION REQUIREMENTS OF IPC 903, DBCA/IPC 903.1,
- 4. VENT TERMINATION SHALL COMPLY TO SIZE AND LOCATION REQUIREMENTS OF IPC 905, DBCA AND IPC 904
- 5. PROVIDE BACKFLOW ASSEMBLIES PER IPC 608.1 AND DBCA/IPC 608.1.1.
- 6. DIRECT WASTE PIPING SHALL CONFIRM TO IBC CHAPTER 8.
 7. PROTECT ALL PIPES FROM FREEZING, IPC 305.4.

GENERAL NOTES

- VERIFY EXACT LOCATIONS, ELEVATIONS AND CHARACTERISTICS OF UTILITIES AND PIPING BEFORE COMMENCEMENT OF WORK, AND IMMEDIATELY NOTIFY PROJECT MANGER OF ANY DISCREPANCIES. CONTRACTOR SHALL MAKE ALL ARRANGEMENTS WITH UTILITY COMPANIES FOR SERVICE AND CONNECTIONS. CITY SHALL PAY FOR ALL PERMITS, FEES, CHARGES AND METERS, IF APPLICABLE. CONTRACTOR TO RE-USE EXISTING CAPPED SERVICES FROM OLD RESTROOM BUILDING PREVIOUSLY
- DEMOLISHED BY THE CITY OF NORMAN.

 3. TERMINATE ALL VENT AND FLUE OUTLETS AT 10'-0" MINIMUM FOR ANY FRESH AIR INTAKES

 4. INSTALL ALL PLUMBING TO AVOID INTERFERENCE WITH ELECTRICAL AND MECHANICAL EQUIPMENT AND STRUCTURAL FRAMING. NO WATER OR DRAIN LINES PERMITTED OVER UNDER ELECTRICAL PANELS.
- INSURE THAT ALL WATER LINES INSIDE AND ADEQUATELY SECURED.

 5. PROVIDE FAUCETS UNLESS OTHERWISE NOTED, TRAPS, STOPS, GATE VALVE, GAS COCKS, WATER HAMMER ARRESTORS, WALK THE NOTES, COVERS, FLEX CONNECTIONS, SHUT OFF VALVES AND INDIRECT WASTE TO AN APPROVED RECEPTOR AND ALL NECESSARY TRIM FOR COMPLETELY INSTALLED AND CONNECTED
- PLUMBING SYSTEM

 6. RECORD ON AS BUILT DRAWINGS ALL SIZES, LOCATIONS, INVERTS, AND MATERIALS OF EXISTING PIPES
 THAT ARE ENCOUNTERED AND NEW PIPES INSTALLED DURING THE COURSE OF THE PROJECT DELIVER AS
 BUILDS TO THE CONSTRUCTION MANAGER AT THE END OF THE PROJECT
- BUILDS TO THE CONSTRUCTION MANAGER AT THE END OF THE PROJECT

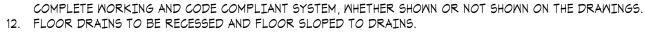
 ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL LOCAL FEDERAL CODES, RULES AND REGULATIONS
- GOVERNING THIS PROJECT.

 8. UPON COMPLETION OF JOB, INSPECT ALL EXPOSED PORTIONS OF THE PLUMBING INSTALLATIONS AND COMPLETELY REMOVE ALL EXPOSED LABELS, SOIL, MARKINGS AND FOREIGN MATERIAL EXCEPT PRODUCT
- LABELS AND THOSE REQUIRED BY LAW

 9. PLUMBING CONTRACTOR SHALL VERIFY INSTALLATION REQUIREMENTS FOR FLOOR DRAINS. THE
 GOVERNING AUTHORITY HAVING JURISDICTION MAY REQUIRE THE FOLLOWING: FLOOR DRAINS MAY
 NEED TO BE RECESSED WITH THE FLOOR SLOPED TO THE DRAIN. THE PLUMBING CONTRACTOR SHALL BE
 RESPONSIBLE FOR OBTAINING THIS INFORMATION AND INSTALLING THESE ITEMS AS REQUIRED BY
- CODE.

 10. CONTRACTOR TO PROVIDE AND INSTALL CLAMPING RINGS AND COLLARS FOR ALL FLOOR DRAINS,
 FLOOR CLEANOUTS, AND ANY OTHER PLUMBING FLOOR PENETRATIONS. MAKE WATER TIGHT CONNECTION
- MITH WATERPROOFING MEMBRANE

 11. THE INTENT OF THE DRAWING HEREIN IS TO REPRESENT A COMPLETE WORKING SYSTEM. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND INSTALLING ALL COMPONENTS NECESSARY TO PROVIDE A





3600 West Main Suite 200 Norman, OKlahoma 73072 405.360.1400 p 405.364.8287 f tmparch.com

Seal:



Project:

Reaves Park
Central Restroom Building
2501 Jenkins Ave.
Norman, Oklahoma

Issue Date: **04/25/2024**

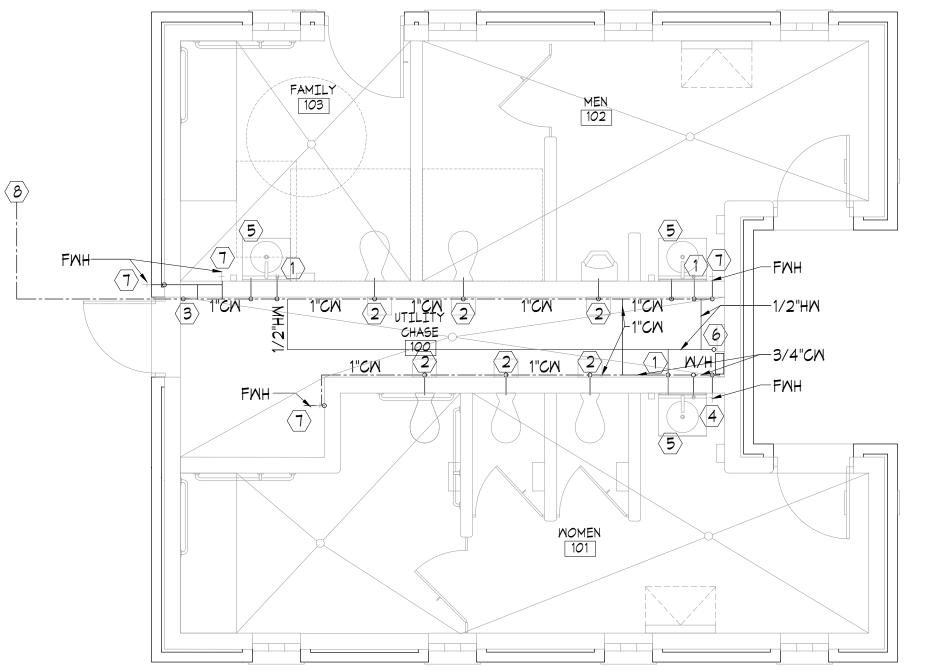
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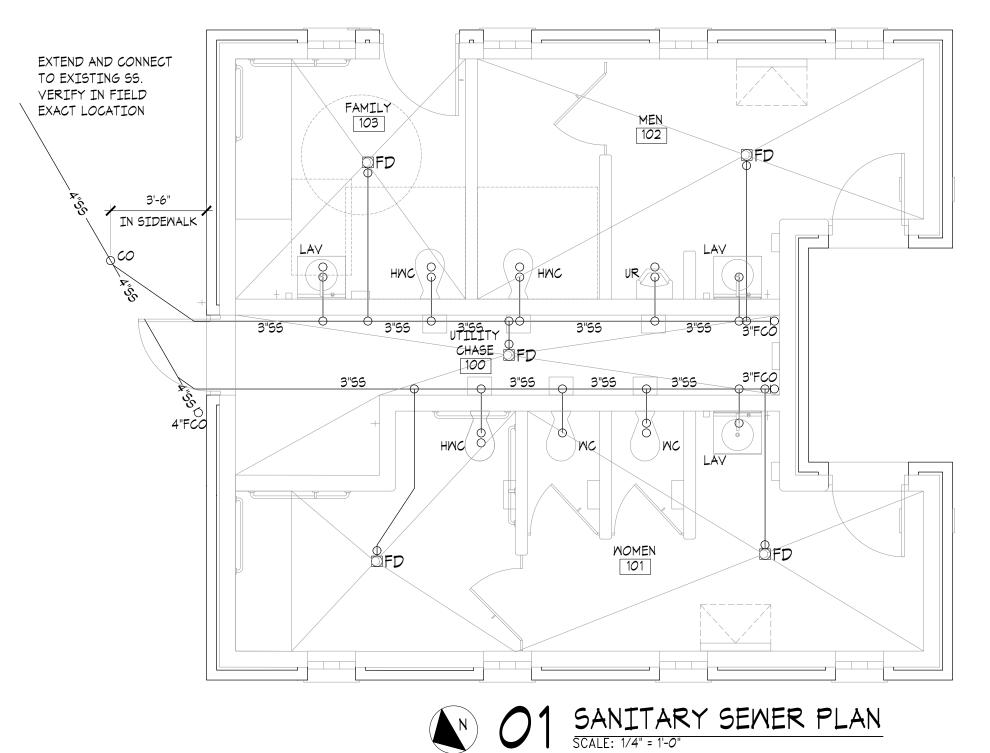
Project Number: CM094323

Sheet Title:
SANITARY SEWER PLAN
DOMESTIC WATER PLAN

Sheet Number:

P1.0







SPECIFICATION INDEX GENERAL CONDITIONS

DIVISION 1 GENERAL REQUIREMENTS DIVISION 2 SITE WORK DIVISION 3 CONCRETE MASONRY DIVISION 4 DIVISION 5 **METALS**

DIVISION 6 CARPENTRY THERMAL & MOISTURE PROTECTION DIVISION 7 DOORS, WINDOWS AND GLASS DIVISION 8

DIVISION 9 FINISHES DIVISION 10 SPECIALTIES DIVISION 11 EQUIPMENT DIVISION 12 FURNISHINGS

DIVISION 13 SPECIAL CONSTRUCTION DIVISION 14 CONVEYING SYSTEMS DIVISION 15 MECHANICAL DIVISION 16 ELECTRICAL

GENERAL CONDITIONS

- 1. PRECEDENCE OF CONTRACT DOCUMENTS: Should a conflict occur in or between
- drawings and specifications, the order of precedence shall be as follows:
- a. General Conditions b. Detail Specifications
- c. Small Scale Drawings d. Large Scale Drawings
- 2. EXAMINATION OF SITE: The Contractor shall visit the site and examine for himself all conditions affecting the work. Contractor shall furnish all labor and materials necessary to prepare the site for execution of this
- 3. GRADES, LINES, LEVELS, AND SURVEYS: The building shall be located on the lot as shown on the site plan. The finished floor elevations shall be established as shown on the plans.
- 4. MATERIALS: When reference is made in the specifications to trade names or to the names of manufacturers, such references are made solely to designate and identify quality of material or equipment, and shall be bid as such by all bidders. If the selected Contractor wishes to use materials or equipment other than specified, prior written approval of Architect and Owner must be obtained. The Architect and Owner may approve such material or equipment changes after contract is awarded if they are considered suitable and equal to those specified. Whenever "approved" "satisfactory", "as directed", or similar phrases are used in these specifications, they shall be understood to mean that material or construction methods referred to shall be approved satisfactory to or as directed by the Architect or Owner.
- 5. PROTECTION: The contractor shall take all responsible precautions to protect from damage, injury or loss of all the work and all the materials and equipment incorporated therein. The contractor shall promptly remedy at his own expense and to the Architect's satisfaction, all damage or loss to the work and all materials and equipment incorporated therein.
- 6. MANUFACTURER'S DIRECTIONS: All manufactured articles, material and equipment shall be applied, installed, connected, erected, used, cleaned and conditioned as directed by the manufacturers, unless herein specified to the contrary.
- 7. MORKMANSHIP: Compliance with the drawings and specifications with regard to materials and methods of assembly will, not in itself, assure acceptance of the construction. Of equal importance is good workmanship, the lack of which will be sufficient cause to refuse acceptance of the construction. Any discrepancies concerning quality of workmanship are to be remedied to the satisfaction of the Architect in accordance with quality construction standards.
- 8. WORK AND MATERIALS NOT COVERED IN SPECIFICATIONS: Any item of work necessary to the proper completion of construction under this contract which is not specifically covered in the drawings and specifications shall be performed in a manner deemed good practice of the trade involved.

Materials and equipment not specifically covered by the drawings and specifications shall be of a standard equal to good practice commensurate with the class of structure constructed and to the materials shown or specified herein. This is to be at no extra cost to the Owner.

DIVISION 1 - GENERAL REQUIREMENTS

- A. LOCATION OF WORK: Work included in these contract documents is to be located at the Owner's Project Address as listed above.
- B. PERMITS, FEES AND NOTICES: The Owner will secure and pay for the building permit unless other arrangements are made by the Owner. The Contractor shall give all notices and comply with all laws, ordinances, rules, regulations, codes and lawful orders of any public authority bearing on the performance of his work. The Contractor shall pay for all testing, inspections, and re-inspections.
- C. SCOPE OF WORK: Contractor shall furnish and install all material and equipment shown, listed, or described on the drawings or in these Specifications, subject to qualifications, conditions or exceptions as noted. Contractor shall also furnish all labor, scaffolding, equipment, tools, etc., necessary to complete the work, including any/all rentals.
- D. <u>CONTRACTOR:</u> The specific trade responsible for installing materials and/or equipment shown listed or described on the drawings or in these Specifications.
- E. <u>SUBMITTALS:</u> Submittlas required for review by architect and owner see notes

- SUBCONTRACTORS: All Subcontractors, if any, shall be approved by Owner. Payment to Subcontractors shall be the sole responsibility of the contractor, as described in the project statutory bond. Construction Contract will be between Owner and Contractor (bidder).
- F. MEASUREMENT & DIMENSIONS: Before ordering materials or commencing with work which is dependent upon proper sizing of, or installation in existing previous conditions, the Contractor shall verify all dimensions by taking measurements at building site and shall be responsible for their correctness. Any discrepancies between drawings and/or specifications and existing conditions shall be referred to the Architect for adjustment before any work affected thereby is commenced.
- G. LAYOUT OF WORK: All work of every character and description shall be laid out on premises or elsewhere by the Contractor who will be held responsible for any errors and for its correctness.
- H. SPECIFICATIONS DIVISIONS: The organization of specifications into divisions, sections and articles is for the purpose of uniform coordination of the work of the different trades. It shall be the Contractor's responsibility for proper coordination and completion of the work described in the contract documents.
- I. TEMPORARY PROVISIONS: The Contractor shall be responsible for providing and maintaining the following temporary provisions:
- 1. Temporary toilet for the use of workmen shall be located as directed and maintained in sanitary condition and comply with local ordinances, unless otherwise made available by Owner in existing structure at job site.
- 2. Temporary water supply if needed: including lines, valves, hose bibs, pumps, pressure tanks, etc.
- 3. Temporary light and power if needed: including wiring, lamps, connections and security lights required for the completion of the work, unless otherwise made available by Owner in existing structure at job site,
- 4. Temporary heat, except for portable units, as needed during cold and wet weather for the purpose of protection and drying constructtin and materials.
- CHANGES IN WORK: All changes in the contract documents after the signing of the contract, are to be documented by memo, field order or change order which are to be initiated by the Architect and signed by both the Owner and the Contractor. Copies are to be sent to all three parties.
- K. PROTECTION OF TREES: Near construction operations, Contractor shall provide orange construction fence around valuable trees, re: 01/A1.0
- L. PROJECT CLOSEOUT: At the completion of the work, the architect, owner and contractor shall conduct a walk-through inspection to determine compliance with the contract documents. Upon completion of the inspection, the architect shall issue to the contractor and the owner an itemized "punch list" for completion. The contractor shall promptly execute all items of the punch list prior to final payment from Owner.
- M. CONTRACTORS INSURANCE: Contractor shall effect and maintain the following: Insurance: Workmans Compensation & Liability and Builders Risk Insurance
- N. OWNERS INSURANCE: City of Norman is self-insured.

Fill:

Exterior Slab:

Splash Blocks:

Vapor Barrier:

Expansion Joint Mat.:

Misc. Concrete Info:

Finish:

Fill:

Site Utilities:	
Soil Tests:	Assumed 1500 PSF.
Bearing Soil:	7.036/1104 1300 1 31 .
Clearing:	Scarify site.
Rough Grading:	Excavate pad to within 8' of finish elevation. Compact subgrade and sand fill.
Excavations:	2. Contrare pass to within a of things of tasten. Company only and and called this
Trenching:	Clean, dry, firm, sides/No standing water/remove and mud.
Finish Coadina	To within all of the of aller Class area to durin
Finish Grading:	To within 4" of top of slab. Slope away to drain. Remove all debris.
Clean-up:	
Landscaping:	By City of Norman.
Planting:	
Decks:	
Terraces:	
Sidewalks:	See Floor / Site Plan - 4" w/ #3 @ 16" OCEW/tooled joints.
Paving:	Slope away from building - sidewalks
Site Drainage:	Slope away from building - sidewalks
Curb and Gutter:	lou e itu
Top Soil:	by city Provide quarantee
Soil Termite Control:	Prep soil. Provide guarantee.
Miscellaneous:	Subgrade shall be compacted to 95% SPD.
	sidewalk to have tool joints @ 48" o.c. and expansions as shown on plan
VISION 3 - CONCRETE	
Cement:	Portland.
Concrete:	3500 psi 5"-6" slump max.
Reinforcing:	Re: Foundation plan.
Footing:	Re: Foundation plan & Section.
Pier:	N/A
Grade Beam:	N/A
Thickened Slab:	Re: Foundation plan & Section.
Misc. Footings:	Re: Foundation plan.
Stem Wall:	N/A
Retaining Wall:	N/A
Basement Wall:	N/A
Formwork:	Clean/smooth lumber.
Cementitous Deck:	N/A
Int. Slab on grade:	
9	
Finish:	Hard steel trowel, slope to floor drains.

<u>4" sand fill - compacted.</u>

Tool joint per plan - match existing pattern.

6 mil Visqueen w/ taped seams and penetrations.

Match texture and pattern of walk joint.

3" sand fill on compacted subgrade.

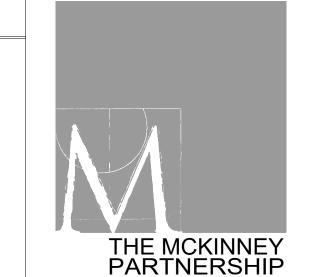
Slope sidewalk away from building.

Pattern, size, and color to be selected by Owner during submittal procedures. Provide samples for Owner/ Architect's approval. Mortar Mix: Mortar Joint - Type & Color: Match color used on Rotary Park Pavilion - provide samples +/- 16" OCEW - 2 piece N/A Fuel: Size: Fuel Material & Size: Ash Dump/C.O.: Flue Cap: Hearth: Miscellaneous: Window Sills: Clean-up: Clean stone at completion w/ cleaner safe for natural stone - Prosoco SK Vana Trol - Apply per manufacturer recommendations. Protect non-masonry materials per manufacturer recommendations. N/A	<u>VISION 4 - MASONRY</u> Masonry:	Stone TBD (Minick Materials)
Provide amples for Country Architects approval Match corrused of Working Park Payllon - provide samples Freedome Tuel See Machine Freedome Tuel See Freedom Tuel Tuel Tuel Tuel Tuel Tuel Tuel Tuel	Mason y.	Pattern, size, and color to be selected by Owner during submittal
Match core - Tipe 4 Color: Match Core - Tipe 5 C		
Transport of the control of State of the Control of St		Match color used on Rotaru Park Pavilion - provide samples
File: Size: The March of a Size: The March of Size:	Mall Ties:	
Pus Material is 2 serial And Decirio Communication of the Communication	· · · · · · · · · · · · · · · · · · ·	<u>N/A</u>
As Dumor.Co.: File Cape Hackelineous. Viscolineous. Viscol		
Heart: Miscal areas in Miscal areas in Company of the base and all of the base	Ash Dump/C.O.:	
Andrew Sile: Contraction of the company of the comp	Hearth:	
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Retaining Asia services are accounted above to the control of the	Clean-up:	
State Stat	Retaining Walls	Protect non-masonry materials per manufacturer recommendations.
Structural Veta-Grade: Stains: Columns: Lintels: Filton Plates: Filton Plates: Filton Plates: Stains Sutters 4 Dornsports: Pre-Finshed sistingle mold. Curver 5 ordings: Fre-Finshed sistingle mold. Na. Na. Na. Na. Na. Na. Na. N	Miscellaneous Masonry:	
Columns: Lincels: Filtich Pisters: Filtich Pisters: Flackings: Miscellareous: Culvert Gratings: Pre-Pinished a shingle mold. Culvert Gratings: Prespective of Columns of Col		
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1 - MAGONDY		DIVISION 7 - THERMAL AND MOISTUR	E PROTECTION
4 - MASONRY	Stone TBD (Minick Materials)		
	Pattern, size, and color to be selected by Owner during submittal procedures.	Thermal Insulation:	
	Provide samples for Owner/ Architect's approval.	Exterior Walls:	Core-Fill pourable insulation at all exterior walls.
ix: oint - Type & Color:	Match color used on Rotary Park Pavilion - provide samples +/- 16" OCEW - 2 piece N/A	Attic:	3" spray foam insulation - closed cell w/ integral ignition barrier. Continuous insulation at roof line - R-15 minimum per code. Submit product information for owner/architect approval
el:	IV A	Pipe Insulation:	Protect from freezing / foam.
e: el Material & Size:		Exterior Sole Plate:	
h Dump/C.O.: e Cap:		Door, Window and Other Voids In Exterior Walls:	Spray polyiso foam @ all voids.
arth: scellaneous:			
ills:	Cut rough stone head and sill. Clean stone at completion w/ cleaner safe for natural stone - Prosoco SK Vana Trol - Apply per manufacturer recommendations. Protect non-masonry materials per manufacturer recommendations.	Other: Roofing: Pitch/Slope: Shingle:	5:12. 40 year fiberglass shingle, color TBD
Malls: eous Masonry:	N/A	Silligle:	Provide samples for Owner / Architect Approval
- METALS			
al Metal-Grade:		Built-up Roofing: Gravel Stop/Parapet:	
		Other:	Grace Underlayment Ice and Water Shield.
		Vapor Barrier:	
		Slab: Walls & Ceilings:	Re: Division 3 - Concrete Fluid-applied air and water-resistive barrier on CMU & sheathing in wall cavity - Prosoco R-Guard VB - 2 coats 15 mil. each.
ates:		Flashing:	Edge trim at shingle mold - prefinished to match roof.
& Downspouts:		Subgrade Waterproofing:	
5: 1eous:	Pre-finished @ shingle mold.		
Gratings:		Skylights:	
-		Caulking & Sealants:	Urethane and foam backer rod at stone/cmu joints.
cated Grill ike & Model:			
		Miscellaneous:	
ion Vents:		<u>DIVISION 8 - DOORS, WINDOWS, AND</u>	GLASS
/Grilles:	painted galv metal	NOTE:	Submit door hardware product information for owner/architect approval
ors & Fasteners:	Ties/galvanized "Z" max. finish by Simpson.	Metal Doors:	Hot dipped galvanize - 16 ga. insulated polystyrene core door and frame. Paint/finish color listed in schedule on Sheet A5.0 is a suggestion. Final finish to be selected by Owner during submittal procedures.
neous Metals:		Wood Doors Exterior:	N/A
- CARPENTRY		Garage Doors:	
Malls:	NA	Interior Doors:	
Malls:		Miscellaneous Doors:	
Top Plates: Sole Plates: Taming:	2X8 P.T. yellow pine., P.T.	Hardware	Re: Door Hardware Sets A3.0.
oring: Framing: Framing:	Pre-Engineered wood trusses. Provide shop drawings for owner/	Hinges:	
i aiiiig:	architect approval Allow for cantilevered members within truss configuration for	Finish: Door Stops:	
Book Docking	for overhangs 3/4" Advantec	Pocket Door:	
Roof Decking: of Decking:	5/4 Advanted	Folding Door: Thumblatch:	
poring: Sheathing:		Miscellaneous:	
· Siding:			Re: Door Hardware Sets A3.0.
Trim: Vent Screening:	Fascia Boards and trim to be rough cedar w/o knots. W/ Bird and Insect Screen.	Hinges: Locksets:	
•	2x Cedar - Clear.	Finish: Closer:	
Trim: 15e:	brick mold @ top of cmu walls	Sliding Panels:	
scellaneous Interior Trim:	or tok thold & top of only walls	Miscellaneous:	Coordinate access control requirements with Owner.
abinets: pors:		Thresholds:	At all doors.
amework:		1111 65110105:	Re: Door Hardware Sets A3.0.

Glass Block:

Glass Block Reinforcing



3600 West Main Suite 200 Norman, OKlahoma 405.360.1400 p 405.364.8287 f tmparch.com

architects



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Project:

8X8X4 - Weck, Cortina pattern for high degree of privacy; Color: Clear.

Stainless steel as req'd with expansion material.

Gray silicone seal.

	Reaves Park	Central Restroom Building	2501 Jenkins Ave.

04/25/2024

Project Number: CM094323

Sheet Title: **SPECIFICATIONS**

DIVISION 8 - DOORS, WINDOWS AND GLASS (CONTINUED)

Mindows:	See Glass Block - previous page SP1.0.
Mindow Grilles: Screen Material & Frame:	
Fixed Glazing:	
Sloped Glazing:	
Mirrors:	Stainless steel reflective surface, Re: AO.1 Toilet Accessories schedule. Submit product information for owner/architect approval.

Refer to Room Finish Schedule Drywall:	5/8" waterproof gypsum wallboard at ceilings - screw application.
Plaster:	
Interior Painting Grade & Type:	Re: Finish Schedule A5.0 - Color TBD Semi-gloss paint at ceiling - First Quality.
Mood Trim: Malls:	semi-glass paint 1 coat block filler, 2 coats epoxy paint per manufacturer recommendation in restrooms
Ceilings:	Prime and paint 2 coats acrylic semi-gloss.
Miscellaneous:	mech area - block filler & 2 coats cmu paint
Exterior Painting and Coatings Grade & Type:	Re: Finish Schedule A5.0 - Color TBD Semi-gloss paint at metals.
Mood:	Semi-transparent stain as manufactured by Cabot or equal on all exposed exterior wood - 2 coats.
Masonry:	N/A
Misc. Metals:	Prime and paint 2 coats alkyd enamel.
Galv. Metal:	Prime and paint 2 coats alkyd enamel.
Stucco Plaster:	3 - coat cement plaster over exposed CMU, undulating palm finish. EIFS will not be accepted.
Concrete Flooring:	Hard steel trowel finish, w/penetrating sealer, Re: Finish Sched. A5.0 - Cl
Glass Block Mortar:	As recommended by mfr., silicone sealant submit color chart. Submit product information for owner/architect approval.

DIVISION 10 - SPECIALTIES Re: AO.1 Toilet Accessories schedule. Restroom Accessories: Submit product information for owner/architect approval. Re: AO.1 Toilet Accessories schedule. Miscellaneous:

Partitions:

Re: A5.0 Finish Notes and Finish schedule. Submit product information and partition samples for owner/architect approval

DIVISION 15 - MECHANICAL Submit product cutsheets for owner/architect approval Plumbing Existing water supply by Owner - locate and repair as required prior to connection. Mater Supply: Re: Plumbing drawings. Piping Materials: Exterior Soil Line: PVC Interior Soil Line: PVC Waste Line: Mater: Footing Drains: Gas Line: Interior Downspouts: Miscellaneous Piping: Sound Insulation: Hose bib beneath each sink/vandal-proof & chase space Hose Bib: Hose bib at Northwest Exterior wall. Frost-Proof Sill Cocks: Encased, Non-Freeze, Anti-Siphon, Automatic Draining In plumbing chase. Interior Valve Shut-Off:

Domestic Water Heating: One instant-hot, Re: P1.0 to serve Men's and Women's and Family Make & Model: Capacity:

Sanitary Sewer-System: Connect to existing sanitary sewer line w/ new clean out. Heating and Cooling: Type of System: In-ceiling electric heaters - recessed in gypsum wall board (4) Mall mount electric heaters - located in Chase (1)

Equipment: Furnace: Condenser: Heat Pump: Fan Unit: Humidifier: Controls:

Miscellaneous: Ductwork:

Duct Insulation: Registers/Grilles: Floor: Ceiling: Toe Space: Return Air:

Ventilation supply duct insulate R-8 or equiv. to local codes. Prefinished - Mill Finish

Re: M1.0, motorized dampers @ entry and exit.

Re: M1.0, controlled by occupancy sensors.

Re: M1.0. Exhaust Fan(s): Toilets:

Re: M1.0.

DIVISION 16 - ELECTRICAL

Mater Mell Pump:

Miscellaneous:

Bath Exhaust Fan(s):

Service: Determined by subcontractor. Design/Build Locking. All empty conduits route to this. Panel: Locate as shown on plan 01/E1.0. Miring: Special Outlets & Miring: Provide GFCI outlet in utility chase. Appliances: Intercom: Security: <u>Provide electric strike to restroom doors.</u> Refer to Door Hardware Schedule on Sheet A3.0 for specification and locations. Fire: Stereo/Speakers Telephone: Computer: Exterior lighting: On by photocell, off by timeclock.

Re: E1.0. Boxes: Motion activated fan and lights, delayed timer off. Switches:

Re: M1.0.

Low Yoltage Power: Electric strikes for access control at restroom doors to be provided by the Contractor. Re: A3.0 and E1.0. Lighting Fixtures:

Provide MP receptacle boxes as shown on plan for receptacles. Miscellaneous Electrical:

> Route all conduit adjacent to trusses \$ beams. Conceal where possible. Paint to match adjacent wood color. Submit product cutsheets for owner/architect approval

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Seal:



Project:

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