



The City of NORMAN

225 N. Webster Ave. • P.O. Box 370
Norman, Oklahoma 73069 • 73070

PLANNING AND COMMUNITY DEVELOPMENT
Phone: 405-307-7112

CASE NUMBER: PD23-03 **APPLICANT:** Plant Life, L.L.C./Stephen Lewis

DATE: February 9, 2023 **LOCATION:** 2516 Briggs Street

TO: Interested Neighbors **WARD:** 2

FROM: City of Norman Department of Planning and Community Development

SUBJECT: Pre-Development Discussion of a rezoning to C-2, General Commercial

You are receiving this letter because you own property within the 350-foot notification boundary of a Pre-Development application to consider rezoning to C-2, General Commercial District. This property is currently zoned R-1, Single Family Dwelling District.

Please join us for a Pre-Development discussion of this proposal on **Thursday, February 23, 2023 from 5:30 p.m. until 6:00 p.m.** The meeting will be held in **Conference Room A** of the **Norman Development Center, 225 N. Webster Avenue**, located west of the downtown Post Office.

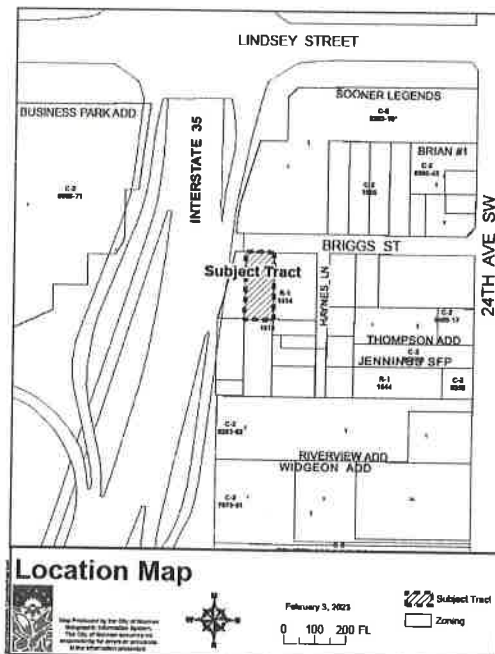
This applicant has filed a concurrent application for Planning Commission consideration of this project at their March 9, 2023 meeting. You will also be receiving notice of that meeting in the near future.

Pre-Development meetings are required for property owners seeking to undertake certain land use actions (any Special Use, rezoning of land over 40 acres in size, amendment of the NORMAN 2025 Land Use & Transportation Plan, subdivision of property, Rural Certificate of Survey greater than 40 acres, or construction of a cellular tower) that could have an impact on surrounding properties.

Pre-Development meetings allow applicants and neighboring property owners to meet informally to discuss proposals and air concerns prior to the public hearing process. Often Pre-Development meetings allow applicants and neighbors to resolve issues of concern.

If you have questions about the proposal, please call the contact person, Stephen Lewis, (405) 642-4789 any time. We look forward to your participation and thank you for taking an active role in your community.

VICINITY MAP





Application for
Pre-Development Informational Meeting

Case No. PD 23-03

City of Norman Planning & Community Development - 201 W. Gray St., Bldg. A - Norman, OK 73069 — (405) 366-5433 Phone - (405) 366-5274 Fax

APPLICANT/LAND OWNER Stephen Lewis Plant Life LLC	ADDRESS 2516 Briggs St Norman, OK 73072
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EMAIL ADDRESS Stephen@Plantlifeok.com	NAME AND PHONE NUMBER OF CONTACT PERSON(S) Stephen Lewis 405-642-4789 BEST TIME TO CALL: Any time
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Concurrent Planning Commission review requested and application submitted with this application.

A proposal for development on a parcel of land, generally located R0022446
2516 Briggs St. Norman, OK 73072

and containing approximately 0.53 acres, will be brought forward to the Planning Commission and City Council for consideration within the next six months.

The Proposed Use(s) in this development will include (please describe specific land uses and approximate number of acres in each use):

Inside storage of our equipment. We own a landscape design company based in Norman.

O F F I C E U S E O N L Y	This proposed development will necessitate (check all that apply):	Items submitted:	Concurrent Planning Commission Review Requested: <input checked="" type="checkbox"/>
	<input type="checkbox"/> 2025 Plan Amendment <input type="checkbox"/> Growth Boundary	<input checked="" type="checkbox"/> Deed or Legal Description	Received on: <u>2-1-2023</u>
	<input type="checkbox"/> Land Use	<input checked="" type="checkbox"/> Radius Map	at <u>12:00</u> a.m./p.m.
	<input type="checkbox"/> Transportation	<input checked="" type="checkbox"/> Certified Ownership List	by <u>[Signature]</u>
	<input checked="" type="checkbox"/> Rezoning to <u>C-2, General Commercial</u> District(s)	<input type="checkbox"/> Written description of project	
<input type="checkbox"/> Special Use for _____	<input checked="" type="checkbox"/> Preliminary Development Map		
<input type="checkbox"/> Preliminary Plat _____ (Plat Name)	<input type="checkbox"/> Greenbelt Enhancement Statement		
<input type="checkbox"/> Norman Rural Certificate of Survey (COS)	<input checked="" type="checkbox"/> Filing fee of \$125.00		
<input type="checkbox"/> Commercial Communication Tower	Current Zoning: <u>R-1</u>		
	Current Plan Designation: _____		

Preliminary Development Map / Site Plan
2516 Briggs Street

